



Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: KEITH NEWMAN, PLANNER II 
(480) 503-6812, KEITH.NEWMAN@GILBERTAZ.GOV

THROUGH: AMY TEMES, INTERIM PRINCIPAL PLANNER 
(480) 503-6729, AMY.TEMES@GILBERTAZ.GOV

MEETING DATE: MARCH 6, 2019

SUBJECT: DR18-165 RECKER ROAD SELF STORAGE ADDITION

STRATEGIC INITIATIVE: Economic Development

Attract, retain and grow businesses that serve the local and regional customer base as a means to increase Gilbert's sales tax revenue.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR18-165, Recker Road Self Storage Addition: Site plan, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 4.39 acres, generally located south of the southeast corner of Baseline Road and Recker Road and zoned Shopping Center (SC).

APPLICANT/OWNER

Company: Andrews Design Group, Inc.
Name: Don Andrews/Rosa Pritchett
Address: 1095 W. Rio Salado Pkwy., #103
Tempe, AZ 85281
Phone: 480-894-3478
Email: rosa@adgarch.net

Name: Jim & Luisana Idsardi
Address: 1501 N. Recker Rd.
Gilbert, AZ 85234
Phone: 602-670-4655
Email: jimidsardi@cox.net

BACKGROUND/DISCUSSION

History

Date	Description
<i>April 25, 2006</i>	Ordinance No. 1735 approved Annexation Case A05-23 for 101.24 acres located at the southeast corner of Recker Road and Baseline Road.
<i>June 20, 2006</i>	Ordinance No. 1781 approved Zoning Case Z06-14, changing the zoning district of the subject property from Maricopa County Rural-43, Intermediate Commercial (C-2) and General Commercial (C-3) District to Town of Gilbert Single Family-43 (SF-43) and Shopping Center (SC) District.

Overview

The site is generally located south of the southwest corner of Baseline Road and Recker Road and zoned Shopping Center (SC), within the existing Recker Road Storage facility property. The property owner is proposing to construct a new 20,000 sq. ft. building consisting of 17,900 sq. ft. of self-storage space and 2,100 sq. ft. of auto repair (vehicle services, light) space containing six auto repair bays. The proposed new building will be constructed in place of the existing outdoor RV storage area within the south half of the property. The existing storage facility and auto repair business was originally built in Maricopa County prior to annexation into the Town of Gilbert.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Shopping Center (SC)	Shopping Center (SC)	Vacant land
South	Residential > 1 - 2 DU/Acre	Single Family-43 (SF-43)	Abandoned home
East	Residential > 1 - 2 DU/Acre and General Commercial (GC)	Single Family-43 (SF-43) and General Commercial (GC)	Single Family Homes and Gilbert Professional Park
West	General Commercial (GC)	General Commercial (GC)	Baseline Road then Vacant land
Site	Shopping Center (SC)	Shopping Center (SC)	Recker Road Self Storage and ATAC Auto Repair

Project Data Table:

Site Development Regulations	Required per LDC	Proposed *
Maximum Size of Use or User (sq. ft.)	75,000 sq. ft. of storage space	Existing storage: 57,100 sq. ft. Proposed storage: 17,900 sq. ft. Total Storage: 75,000 sq. ft.

		Existing Auto Repair: 7,800 sq. ft. Proposed Auto Repair: 2,100 sq. ft. Existing Office: 2,347 sq. ft.
Maximum Building Height (ft.)/ (Stories)	35/2	21'
Minimum Building Setbacks (ft.)		
Front	25'	0' internal
Side to Street	20'	0' internal
Side to residential	75'	0' internal
Side to non-residential	15'	0' internal
Rear to residential	75'	0' internal
Rear to non-residential	15'	0' internal
Minimum Required Perimeter Landscape Area (ft.)		
Front	25'	0' internal
Side to Street	20'	0' internal
Side to residential	30'	0' internal
Side to non-residential	15'	0' internal
Rear to residential	35'	0' internal
Rear to non-residential	15'	0' internal
Landscape (% of net lot area)	15%	12.8% as approved per Maricopa County
Parking Spaces	46	46

*** All existing setbacks and site improvements were approved and constructed in Maricopa County prior to annexation into the Town. Also note that there are existing buildings right on the property line along the northern and southern boundaries of this site.**

DISCUSSION:

Site Plan:

The property owner proposes to construct a new 20,000 sq. ft. metal building within the existing Recker Road Self Storage facility consisting of 17,900 sq. ft. of self-storage space and 2,100 sq. ft. of auto repair (vehicle services, light) containing six auto repair bays. The proposed new building will be constructed in place of 41 existing outdoor RV storage spaces within the south half of the property. The site which was originally developed in Maricopa County has four existing buildings totaling 68,037 sq. ft. containing office, self-storage and auto repair uses.

The new building is entirely internal to the site and will be located to the east of the existing buildings along Recker Road in the south half of the site. Access to the site is via two existing gates and two existing drive entrances off of Recker Road. All users will access the roll-up door buildings via existing asphalt drive aisles. The new building is surrounded on all sides by existing buildings and has been reviewed by the Fire Department and is in compliance with all Fire Code separation requirements from adjacent buildings. A total of 46 parking spaces are proposed for the entire development where 46 spaces are required.

All existing site fencing will remain with no additional fencing being constructed as the building is surrounded by existing buildings.

Landscape

The perimeter and parking lot landscape was approved under Maricopa County. No new landscape is recommended or required.

Grading and Drainage:

The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division. On-site retention is provided in above ground retention basins within the landscape areas along Recker Road and along the east property boundary.

Elevations, Floor Plan, Colors and Materials:

The proposed building is 21' feet tall at its highest point and will be constructed of metal siding matching the materials, design and colors (Saddle Tan and Bronze) of the existing storage buildings. The 2,100 sq. ft. auto repair portion of the building is the tallest part of the building and located at the west end. The auto repair expansion will contain three large roll up doors with six additional auto repair bays. The remaining 17,900 sq. ft. of the building will consist of 104 individual storage units ranging in size from 75 sq. ft. up to 360 sq. ft.

All mechanical equipment and appurtenances will be located on the roof of the building and screened by 22' wide parapet wall sections on the south side, which is the most visible by the adjacent property and from Recker Rd. Additional screening of the units from the north and east, which is not as visible by the public, will be provided by metal walls surrounding the units that match the materials and color of the building, and will match the method of screening provided for the roof top units on the existing storage building immediately to the north. The taller portion of the building will completely screen the units from the west.

Lighting:

Wall mounted light fixtures are attached to all four sides of the building and mounted no taller than 12'-6" from the ground. No new freestanding light poles are proposed.

Signage:

No additional signage is proposed with this project. Any new signage will require Administrative Design Review approval prior to permitting.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has received no comment from the public.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR18-165, Recker Road Self Storage Addition: Site plan, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 4.39 acres, generally located south of the southeast corner of Baseline Road and Recker Road and zoned Shopping Center (SC); subject to conditions:

1. Construction of the project shall conform to the exhibits approved by the Planning Commission/ Design Review Board at the March 6, 2019 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
3. All outstanding Grading and Drainage Plan comments shall be addressed upon the review of the Construction Documents.

Respectfully submitted,



Keith Newman,
Planner II

Attachments and Enclosures:

- 1) Findings of Fact
- 2) NOPH
- 3) Site Plan
- 4) Grading and Drainage Plan
- 5) Building Elevations
- 6) Floor Plan

**FINDINGS OF FACT
DR18-165, Recker Road Self Storage Addition**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

Notice of Public 1

DR18-165 Recker Road Self Storage Addition
Attachment 2: Notice of Public Hearing
March 6, 2019

PLANNING COMMISSION DATE:
TOWN COUNCIL DATE:

Wednesday, March 6, 2019* TIME: 6:00 PM

**LOCATION: Gilbert Municipal Center
Council Chambers
50 E. Civic Center Dr.
Gilbert, AZ 85296**

***Call Planning Division to verify date and time: (480) 503-6812**

* The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports are available prior to the meeting at www.gilbertaz.gov/departments/development-services/planning/planning-commission and www.gilbertdocs.com/gilbertagendaonline.

REQUESTED ACTION:

DR18-165 RECKER ROAD STORAGE ADDITION: Site plan, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 4.39 acres, generally located south of the southeast corner of Baseline Road and Recker Road and zoned Shopping Center (SC).

SITE LOCATION:



APPLICANT: Andrews Design Group
CONTACT: Rosa Pritchett
ADDRESS: 1095 W. Rio Salado Pkwy., Suite 103
Tempe, AZ 85281

TELEPHONE: (480) 894-3478
E-MAIL: rosa@adgarch.net

DR18-165 Recker Road Self Storage Addition
Attachment 3: Site Plan
March 6, 2019

FIRE DEPARTMENT NOTES:

- FIRE APPARATUS ACCESS ROAD TURNING RADII SHALL COMPLY WITH FIRE REGULATION 12-503 35' FEET INSIDE AND 55' FEET OUTSIDE.
- FIRE LANES SHALL COMPLY WITH 2012 IFC AND THE REGULATION 12-D103.6R.
- PROVIDE MINIMUM REQUIRED FIRE-FLOW AT THE TIME OF THE CONSTRUCTION DOCUMENTS SUBMITTAL
- A DEDICATED FIRE RISER ROOM WITH A MINIMUM DIMENSION OF 5' X 5' WITH DIRECT EXTERIOR ACCESS, FACP CONTROL PANELS AND OTHER LOW VOLTAGE EQUIPMENT SHALL BE PERMITTED IN RISER ROOMS. - BACK-FLOW PREVENTER SHALL BE INSTALLED ON THE FIRE RISER INSIDE RISER ROOM.
- A COMPLETE BUILDING CODE ANALYSIS WILL BE PROVIDED AT THE CONSTRUCTION DOCUMENTS SUBMITTAL.

STANDARD FIRE DEPARTMENT NOTES:

GENERAL FIRE PLAN SUBMITTALS:

THESE NOTES ARE REQUIRED TO BE ON THE COMMERCIAL, INDUSTRIAL AND MULTI-FAMILY PLANS FOR ALL SUBMITTALS

CONSTRUCTION WITHIN THE TOWN OF GILBERT SHALL COMPLY WITH THE 2012 INTERNATIONAL FIRE CODE (IFC) AS AMENDED AND ADOPTED BY FIRE CODE SUB-SECTIONS 10-37-1, 10-37-2, AND 2012 FIRE CODE INTERPRETATIONS & REGULATIONS

THE APPLICANT IS RESPONSIBLE TO IDENTIFY AND COORDINATE DEFERRED SUBMITTALS.

PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS, AUTOMATIC FIRE EXTINGUISHING SYSTEMS, AND STANDPIPES SHALL BE SUBMITTED TO THE PERMITTING & PLAN REVIEW DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

A KNOX BOX IS REQUIRED AT EVERY FIRE SPRINKLER RISER ROOM. WHEN RAPID ACCESS WOULD BE COMPROMISED BY LONG TRAVEL DISTANCES, KNOX BOXES SHALL BE REQUIRED AT OTHER LOCATIONS AT THE DISCRETION OF THE FIRE OFFICAL. REFER TO 2012 FIRE CODE INTERPRETATIONS & REGULATIONS 12-506.1 KEY BOXES.

GENERAL FIRE DEPARTMENT ACCESS:

APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED WITHIN GILBERT'S JURISDICTION.

THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION AND SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY. THE ROUTE IS TO BE MEASURED AROUND THE BUILDING AS THE FIRE HOSE WOULD BE LAID AND SHALL BE APPROVED BY THE FIRE PLANS EXAMINER.

APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OR 20 FEET (FOC).

A MINIMUM VERTICAL CLEARANCE OF 13'6" SHALL BE PROVIDED FOR THE APPARATUS ACCESS ROADS.

DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED MEANS FOR TURNING THE APPARATUS AROUND. FIRE APPARATUS TURNING RADIUS IS 35 FEET INSIDE AND 55 FEET OUTSIDE (FOC).

FIRE LANES SHALL BE MARKED BY SIGNS PER TOG DETAIL #63 AND/OR CURB PAINTED RED AND LABELED "FIRE LANE NO PARKING". REFER TO 2012 FIRE CODE INTERPRETATIONS & REGULATIONS 12- D103.6 FIRE LANES.

- FIRE APPARATUS ACCESS ROADS SHALL HAVE A MAXIMUM GRADE OF
- 0-6% GRADE ABC 6"95% COMPACTION
 - 6-10% GRADE CONCRETE ASPHALT, 4"OR MORE
 - GRADES STEEPER THAN 10% SHALL BE APPROVED BY THE FIRE OFFICAL.

FIRE HYDRANT REQUIREMENTS:

THE MINIMUM NUMBER OF FIRE HYDRANTS SHALL NOT BE LESS THAN REQUIRED PER APPENDIX C IN THE IFC.

A FIRE HYDRANT SHALL BE LOCATED WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION (FDC). THE ROUTE IS TO BE MEASURED AS THE FIRE HOSE WOULD BE LAID OUT AND SHALL BE APPROVED BY THE FIRE PLANS EXAMINER.

A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS

GENERAL FIRE SPRINKLER REQUIREMENTS:

PLANS AND SPECIFICATIONS FOR FIRE SPRINKLER SYSTEMS EXCEEDING 19 HEADS SUBMITTED FOR REVIEW SHALL BE SEALED BY A QUALIFIED ARIZONA REGISTRANT IN FIRE SPRINKLER DESIGN. THE INSTALLING CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER ARE TO BE INCLUDED ON THE DRAWINGS AND CALCULATIONS SUBMITTED FOR REVIEW AND APPROVAL. AS-BUILT DRAWINGS WILL BE REQUIRED WHERE FIELD CHANGES ARE MADE TO THE DESIGNED DRAWINGS. WHEN PIPING AND/OR SPRINKLER HEADS ARE ADDED TO INITIAL SPRINKLER SYSTEM INSTALLATIONS, UPDATED CALCULATIONS WILL BE REQUIRED.

FIRE SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT NFPA REFERENCED STANDARDS AND THE TOWN OF GILBERT SPRINKLER ORDINANCE.

THE FIRE SPRINKLER RISER ROOM SHALL COMPLY WITH TOWN OF GILBERT FIRE CODE AMENDED SECTION 901.4.6.

FIRE DEPARTMENT INLET CONNECTIONS (FDC) SHALL BE LOCATED ON THE ADDRESS SIDE OR NATURAL APPROACH OF THE BUILDING IT SERVES AND SHALL IDENTIFY THE BUILDING(S) SERVED WITH A PERMANENT SIGN.

FIRE HOSE THREADS AND FITTINGS USED IN CONNECTION WITH AUTOMATIC SPRINKLER SYSTEMS SHALL NATIONAL STANDARD THREAD.

CONTROL VALVES AND WATER FLOW SWITCHES FOR AUTOMATIC SPRINKLER SYSTEMS SHALL BE ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLER HEADS EXCEEDS 19, IFC SECTION 903.4.

AN EXTERIOR FIRE SPRINKLER SYSTEM ALARM BELL SHALL BE MOUNTED ABOVE THE FIRE RISER ROOM DOOR.

GENERAL FIRE ALARM REQUIREMENTS:

PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS SUBMITTED FOR REVIEW SHALL BE SEALED BY A QUALIFIED ARIZONA REGISTRANT IN FIRE ALARM SYSTEM DESIGN. THE INSTALLING CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER ARE TO BE INCLUDED ON THE DRAWINGS AND CALCULATIONS SUBMITTED FOR REVIEW AND APPROVAL. AS-BUILT DRAWINGS WILL BE REQUIRED WHERE FIELD CHANGES ARE MADE TO THE DESIGNED DRAWINGS. WHEN ADDITIONAL WIRING AND DEVICES ARE ADDED TO FIRE ALARM SYSTEMS, UPDATED VOLTAGE DROP AND BATTERY CALCULATIONS WILL BE REQUIRED.

FIRE ALARM REQUIREMENTS FOR NON-SEPARATED MIXED OCCUPANCIES: OCCUPANCIES THAT DEPEND ON OCCUPANT LOAD CRITERIA TO DETERMINE WHEN A FIRE ALARM SYSTEM IS REQUIRED SHALL USE THE TOTAL BUILDING OCCUPANT LOAD USING THE MOST RESTRICTIVE OCCUPANCY CLASSIFICATION AND EXTEND THE FIRE ALARM SYSTEM TO ALL OCCUPIED AREAS OF THAT BUILDING IN ACCORDANCE WITH APPLICABLE CODE AND STANDARD. THE FIRE ALARM REQUIREMENTS SHALL BE BASED ON THE MOST RESTRICTIVE FIRE PROTECTION SYSTEM REQUIREMENT OF IFC CHAPTER 9.

ALARM INITIATING DEVICES, ALARM SIGNALING DEVICES AND OTHER FIRE ALARM SYSTEM COMPONENTS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH 2012 IFC AND CURRENT NFPA REFERENCED STANDARDS.

DUCT SMOKE DETECTORS THAT ARE CONCEALED FROM VIEW, INSTALLED MORE THAN 10 FEET ABOVE FINISHED FLOOR OR IN ARRANGEMENTS WHERE THE DETECTORS ALARM INDICATOR IS NOT READILY VISIBLE TO RESPONDING PERSONNEL IT SHALL HAVE A VISIBLE AND AUDIBLE SUPERVISORY SIGNALING DEVICE AT THE CEILING LEVEL OR SIGHT OBSTRUCTION AT EACH DETECTOR. DUCT SMOKE DETECTORS SHALL BE CONNECTED TO THE BUILDING'S FIRE ALARM CONTROL UNIT WHEN A FIRE ALARM SYSTEM IS REQUIRED.

FIRE SAFETY DURING CONSTRUCTION:

AN ALL-WEATHER ACCESS ROAD DESIGNED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING UP TO 85,000 POUNDS SHALL BE INSTALLED AND MAINTAINED AT ALL TIMES. SITES SHALL HAVE TWO POINTS OF ACCESS OR AS INDICATED AT PLAN REVIEW OR BY THE FIRE INSPECTOR. UNPAVED SURFACES SHALL HAVE A MINIMUM ABC 6"DEPTH COMPACTION TO 95% AND 20' WIDE. NO VEHICLE PARKING OR BUILDING MATERIAL OFF-LOADING ALLOWED ON THE EMERGENCY ACCESS ROAD. FIRE LAND SIGNS ARE REQUIRED TO BE POSTED ALONG THE ROAD.

SIGNS SHALL BE POSTED AT EACH REQUIRED STREET ENTRANCE INDICATING EMERGENCY VEHICLE ENTRANCE, THE PROJECT NAME, THE PROJECT ADDRESS AND AN EMERGENCY CONTACT NUMBER OF A COMPANY REPRESENTATIVE.

THE SIGN SHALL BE A MINIMUM OF 24' HIGH X 36' WIDE WITH WHITE REFLECTIVE BACKGROUND AND 3' RED REFLECTIVE LETTERS.

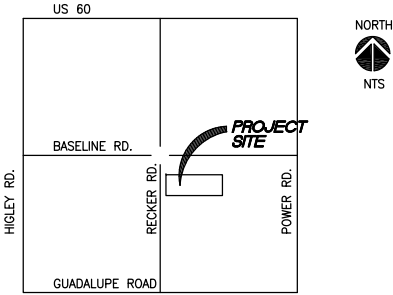
ALL SITE HYDRANTS SHALL BE INSTALLED AND ACCEPTED BY THE TOWN ENGINEERING DEPARTMENT PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE CONSTRUCTION SITE.

TEMPORARY DEAD END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED MEANS FOR TURNING THE APPARATUS AROUND.

FIRE HYDRANTS PROVIDED DURING CONSTRUCTION SHALL BE LOCATED ALONG THE FIRE APPARATUS ACCESS ROADWAY.

FIRE HYDRANTS PROVIDED DURING CONSTRUCTION SHALL BE PROTECTED FROM VEHICULAR DAMAGE.

VICINITY MAP:



PROJECT DATA:

PROJECT NAME: RECKER ROAD SELF STORAGE

PROJECT ADDRESS: 1501 N. RECKER ROAD, GILBERT AZ 85234

PROJECT DESCRIPTION:

THIS PROJECT IS FOR AN EXISTING SELF STORAGE AND AUTO SERVICE, TO PROVIDE ADDITIONAL SERVICE SPACE AND STORAGE UNITS SINGLE STORY ±20,000 S.F. INCLUDING A ±2,100 S.F. AUTO SERVICE AND 17,900 S.F. SELF-STORAGE. EXISTING LANDSCAPE WILL REMAIN UNDISTURBED.

PARCEL NUMBER: 309-08-482A

SITE NET AREA: ±4.39 ACRES (±191,425 S.F.)

SITE GROSS AREA: ±4.79 AC (±208,969 S.F.)

EXISTING ZONING: SC (SHOPPING CENTER)

CONSTRUCTION TYPE: III-B

TOTAL LANDSCAPE AREA: ±24,505 S.F. (EXISTING TO REMAIN UNDISTURB)

LANDSCAPE AREA PERCENTAGE COVERAGE: 12.8% (24,505 S.F. / 191,425 S.F.)

LOT COVERAGE PERCENTAGE: 45.9% (88,037 S.F. / 191,425 S.F.)

MAX BUILDING HEIGHT/STORIES ALLOW: 35'/2-STORIES

TOTAL BUILDING AREA: 88,037 S.F.

TOTAL EXISTING BUILDING AREA: 68,037 S.F.
TOTAL ADDITIONAL BUILDING AREA: 20,000 S.F.

EXISTING STORAGE AREA (BUILDING 1, 2, 3 AND 4) 57,100 S.F.
EXISTING ADMON OFFICE 2,347 S.F.
EXISTING AUTO SERVICE AND DISPLAY (6 BAY) 7,800 S.F.
EXISTING DOUBLE GARAGE 460 S.F.
EXISTING GARAGE 330 S.F.

ADDITIONAL SELF-SERVICE 17,900 S.F.
ADDITIONAL AUTO SERVICE (6 BAY) 2,100 S.F.

TOTAL STORAGE AREA: 75,000 S.F. (EXISTING 57,100 PLUS ADDITIONAL 17,900 S.F.)
TOTAL AUTO AREA: 9,900 S.F. (EXISTING 7,800 S.F. PLUS ADDITIONAL 2,100 S.F.)
TOTAL OFFICE AREA: 2,347 S.F.

PARKING CALCULATIONS

TOTAL STORAGE AREA: 75,000 S.F. = 8 P.S.
TOTAL AUTO SERVICE AREA: (6 BAY EXISTING PLUS 6 BAY NEW)
12 BAYS X (REQUIRED 3 SPACES PER SERVICE BAY) = 36 P.S.

TOTAL OFFICE AREA: 2,347 S.F. /100 = 2.3 P.S.

TOTAL PARKING REQUIRED: 46 P.S. (INCLUDING 2 ACCESSIBLE PARKING SPACES, ONE OF WHICH MUST BE VAN ACCESSIBLE)

TOTAL PARKING PROVIDED: 46 P.S. (INCLUDING 2 ACCESSIBLE PARKING SPACES, ONE OF WHICH IS VAN ACCESSIBLE 8' WIDE WITH 8' ACCESS AISLE PER ADA 2010)

PROJECT TEAM:

ARCHITECT: ANDREWS DESIGN GROUP, INC.
1095 W. RIO SALADO PKWY.
SUITE-103
TEMPE, ARIZONA 85281
PHONE: (480) 894-3478
FAX: (480) 894-4013
CONTACT: DONALD A. ANDREWS

OWNER: RECKER ROAD SELF STORAGE
1501 N. RECKER RD.
GILBERT, AZ 85234
PHONE: 602-670-4655
CONTACT: MR. JIM IDSARDI

ADQ A1418

No: DATE: REVISIONS:

△		
△		
△		



DR0

DATE: 01/21/2019



Andrews Design Group, Inc.

SITE PLAN COVER SHEET

RECKER ROAD SELF STORAGE
1501 N. RECKER RD
GILBERT, ARIZONA

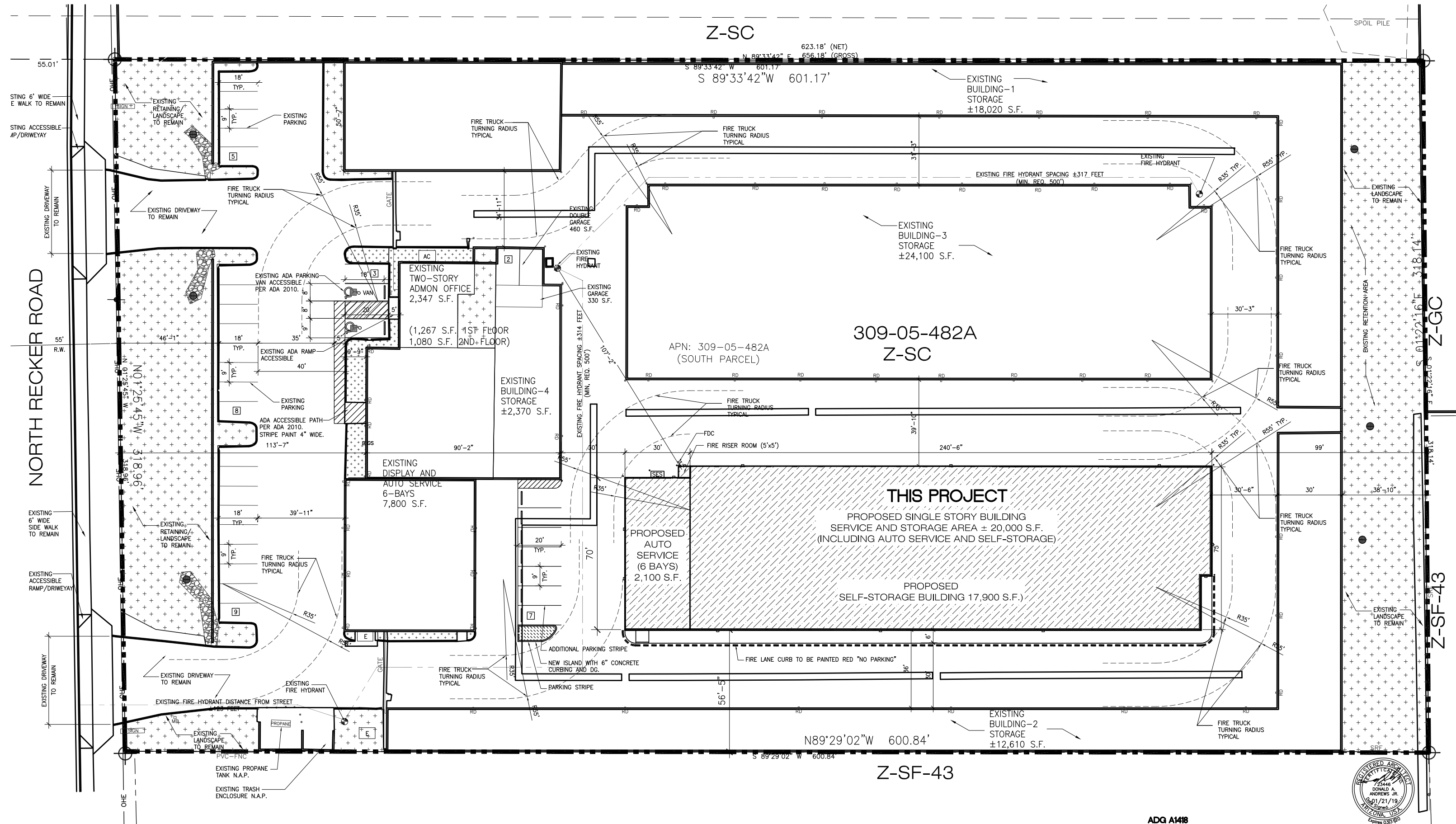
ARCHITECTURE

PLANNING

INTERIORS

PROJECT MANAGEMENT

1095 W. RIO SALADO PKWY. SUITE-103 TEMPE, ARIZONA 85281 (480) 894-3478 FAX: (480) 894-4013



ADG Andrews Design Group, Inc.

ARCHITECTURE PLANNING INTERIORS PROJECT MANAGEMENT

SITE PLAN
SCALE: 1"=40'-0"

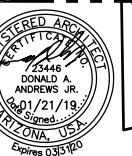


1"=40'-0"
40' 20' 0 40' 80'

RECKER ROAD SELF STORAGE
1501 N. RECKER RD
GILBERT, ARIZONA

1095 W. RIO SALADO PKWY. SUITE-103 TEMPE, ARIZONA 85281 (480) 894-3478 FAX: (480) 894-4013

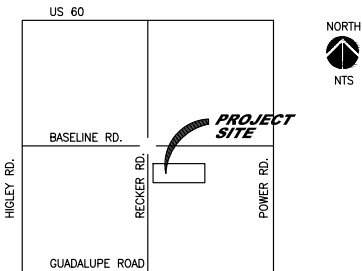
No.	DATE	REVISIONS
1		
2		
3		



DR1

DATE: 01/21/2019

RECKER ROAD SELF STORAGE
CONCEPTUAL GRADING & DRAINAGE PLAN
OF
A PORTION OF NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 6 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.



VICINITY MAP
NOT TO SCALE

PRIME BENCHMARK

BRASS CAP IN HANDHOLE AT THE INTERSECTION
OF RECKER & BASELINE.
BEING THE NW COR OF SECTION 1, T1S, R6E.

ELEVATION = 1322.52 (NAVD 88 DATUM, GDAC
POINT 22509-1)

PARCEL NO. 1 AREA:

NORTH PARCEL (309-05-11D) GROSS, AS DESCRIBED

106,987 SQ FT
2.4561 ACRES - GROSS

SOUTH PARCEL (309-05-482A) NET, AS DESCRIBED

191,425 SQ FT
4.3945 ACRES - NET

PARCEL APN

309-05-011D (NORTH)

309-05-482A (SOUTH)

PARCEL ADDRESS

1531 N. RECKER RD.
GILBERT, AZ 85234
(NORTH)

1501 N. RECKER RD.
GILBERT, AZ 85234
(SOUTH)

ZONING

CURRENT ZONING: SC (CITY OF GILBERT)

NO ZONING REPORT WAS PROVIDED FOR THE SUBJECT PROPERTY.

ENGINEER

INTEGRA CONSULTING
11560 E. JUAN TABO RD.
SCOTTSDALE, ARIZONA 85255
CONTACT: JAMES D. LEMON, P.E.
PHONE: (602) 695-0713

ARCHITECT

ANDREWS DESIGN GROUP, INC.
1095 W. RIO SALADO PKWY.
SUITE-103
TEMPE, ARIZONA 85281
PHONE: (480) 894-3478
FAX: (480) 894-4013
CONTACT: DONALD A. ANDREWS

OWNER

RECKER ROAD SELF STORAGE
1501 N. RECKER RD.
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602-670-4655
CONTACT: MR. JIM IDSARDI

SHEET INDEX

C0 COVER SHEET
C1 GENERAL NOTES
C2 GRADING & DRAINAGE PLAN

PROJECT DESCRIPTION

NEW STORAGE BUILDING WITH ASSOCIATED SITE
IMPROVEMENTS ON AN EXISTING PAVED PARCEL
WITHIN AND EXISTING IMPROVED SHOPPING
CENTER.

SITE ADDRESS

1501 N RECKER ROAD
GILBERT, ARIZONA 85297

ASSESSOR'S PARCEL NUMBER

APN # 309-08-482A

BASIS OF BEARINGS

A BEARING OF N 01° 25' 45" W ALONG THE
MONUMENT LINE OF RECKER RD, BEING THE
WEST LINE OF THE NW 1/4 OF SECTION 1,
T1S, R6E., ACCORDING TO THE RECORD OF
SURVEY, BOOK 1005, PAGE 31.

DRAINAGE STATEMENT

ALL STORMWATER RETENTION FOR THIS ADDITION TO THE EXISTING FACILITY IS
ALREADY PROVIDED IN THE EXISTING BASINS. THE PREVIOUS VOLUME
CALCULATIONS WHICH DEFINE THE RETENTION BEING PROVIDED ARE MODIFIED
AS SHOWN BELOW TO ACCOUNT FOR THE INCREASE IN VOLUME AS REQUIRED
BY TOWN OF GILBERT STANDARDS VERSUS OLD COUNTY STANDARDS.

THE INCREASE IN VOLUME CALCULATION WILL BE FOR THE "DISTURBED
AREA" ONLY. GILBERT STANDARDS CALL FOR VOLUME REPRESENTING
A 3.0 INCH STORM WHERE THE PREVIOUS COUNTY STANDARDS PROVIDED FOR
A 2.6 INCH VOLUME.

(V) = TOTAL VOLUME INCREASE DUE TO INCREASE IN RAINFALL VALUE OVER
THE DISTURBED AREA

(A) = AREA OF DISTURBANCE (NEW BUILDING AND ASPHALT REPLACED TO
ACCOMMODATE THE TRANSITION TO EXISTING) = 31,500 S.F.

(P) = INCREASE IN RAINFALL OVER DISTURBED AREA = 3.0 - 2.6 = 0.4
INCHES

(C) = RUNOFF COEFFICIENT = 0.95

V = C (P/12) A = 0.95 (0.4/12) 31,500 = 997.50 C.F.

PER THE PREVIOUS PLAN:

VOLUME PROVIDED = 35,890 C.F.

VOLUME REQUIRED = 33,505 C.F.

VOLUME AVAILABLE FOR AN INCREASE IN RETENTION REQUIREMENTS:

35,890 - 33,505 = 2,385 C.F. WHICH IS GREATER THAN 997.5 C.F.

THEREFORE, VOLUME IS AVAILABLE IN EXISTING RETENTION BASINS FOR THE
INCREASE IN RUNOFF REQUIREMENT.

ABBREVIATIONS

APN ASSESSOR PARCEL NO.
C CONCRETE
CO CURB OPENING
E ELECTRIC
FL FLOW LINE
FNC FENCE
G GUTTER
GR GRATE
GD GROUND
GS GAS SERVICE
P PAVEMENT
ROW RIGHT OF WAY
RD ROOF DRAIN
SD STORM DRAIN
SS SANITARY SEWER
SCO SEWER CLEANOUT
SD STORM DRAIN
SRF STEEL RAIL FENCE
TC TOP OF CURB
T TELEPHONE
TFC TRAFFIC
W WATER
WO WALL OPENING
VC&G VERTICAL CURB & GIUTTER
(R) RECORD DATA LEGAL DESCRIPTION
(M) FIELD MEASURED DATA
(C) CALCULATED DATA

LEGEND

MONUMENT LINE
SUBJECT PROPERTY LINE
GLO LOT
ADJACENT PARCEL LINES
RIGHT-OF-WAY
CHAIN LINK FENCE
EXISTING STORM DRAIN
EXISTING LINE
EXISTING MANHOLES,
VAULTS AND BOXES
DRAINAGE GRATE
FIRE HYDRANT
WATER METER
SIGN
GUARD POST
WATER VALVE
BACKFLOW PREVENTER
LIGHT
CATCH BASIN
CLEANOUT
POWER POLE
EXISTING CONCRETE
EXISTING RIP-RAP
TREE



NOTE:

THE EXISTING UTILITIES SHOWN HEREON ARE BASED ON INFORMATION
OBTAINED IN THE FIELD AS WELL AS MAPS SUPPLIED BY THE CITY,
VARIOUS UTILITY COMPANIES & THE SURVEYOR. THE ENGINEER, INTEGRA
CONSULTING, INC. ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITIES
NOT SHOWN. CALL BLUESTAKE PRIOR TO ANY DIGGING. IF DISCREPANCIES
EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

DRAWING STATUS:

RECKER ROAD SELF STORAGE
CONCEPTUAL G&D PLAN
1501 N. RECKER ROAD
GILBERT, ARIZONA

REVISIONS:

1	
2	



DATE ISSUED: 1-15-19

DESIGNED BY: CGJ

DRAWN BY: CGJ

CHECKED BY: JDL

PROJECT NO. 0122

SCALE: 1"=20'

SHEET NO.

1 OF 3

TRACKING NO.

GENERAL NOTES

1. ALL DESIGN AND CONSTRUCTION MUST BE IN ACCORDANCE WITH THE UNIFORM STANDARD SPECIFICATIONS AND DETAILS PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE TOWN OF GILBERT.
2. THE CONTRACTOR SHALL NOTIFY THE TOWN OF GILBERT ENGINEERING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF ANY CONSTRUCTION FOR INSPECTION (480-892-0800).
3. ALL BACKFLOW PREVENTION DEVICES SHALL MEET THE REQUIREMENTS OF THE TOWN OF GILBERT BACKFLOW PREVENTION ORDINANCE (#869), OTHERWISE KNOWN AS ARTICLE 7-14 OF THE TOWN OF GILBERT MUNICIPAL CODE. CROSS CONNECTION CONTROL (FOR ADDITIONAL BACKFLOW SPECIFICATIONS, SEE: GILBERT UNIFIED LAND DEVELOPMENT CODE APPENDIX). ALL BACKFLOW DEVICES SHALL BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE AN UP TO DATE LIST OF CERTIFIED TESTERS FROM WHICH TO BE SELECTED. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER. NOTE: A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPING OR IRRIGATION SYSTEM. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. 4-MIL PHOTO-MYLAR AS-BUILTS ARE ALSO REQUIRED.
4. CONTRACTOR TO COORDINATE THE PLACEMENT OF DRIVEWAYS TO AVOID CONFLICTS WITH UTILITY SERVICES.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ALL UTILITIES, POWER POLES, SIGNALS, ETC.
6. CONTRACTOR TO ADJUST ALL VALVES, MANHOLES, CLEANDUTS, ETC. TO FINISHED GRADE PER STANDARD DETAILS.
7. BACKFILL AND COMPACTION WITHIN CURB/ROAD RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST MARICOPA COUNTY SPECIAL PROVISIONS FOR INSTALLATION OF UNDERGROUND UTILITIES.
8. TRAFFIC CONTROL SHALL COMPLY WITH M.A.G. SPECIFICATION 401, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND THE CITY OF PHOENIX TRAFFIC CONTROL MANUAL, LATEST EDITION. A TRAFFIC CONTROL PLAN (TCP) SHALL BE SUBMITTED CONFORMING TO THE TOWN OF GILBERT ORDINANCE # 1143 SECTION 10-5. PLANS ARE TO BE SUBMITTED A MINIMUM OF 48 HOURS IN ADVANCE OF THE START OF CONSTRUCTION. PLANS MAY BE FAXED TO (480) 503-6737.
9. CALL BLUE STAKE CENTER (602-263-1100) 48 HOURS BEFORE YOU DIG FOR LOCATION OF ALL UNDERGROUND UTILITIES. S.R.P. IS NOT A PART OF BLUE STAKE AND MUST BE CONTACTED SEPARATELY.
10. ENGINEER CERTIFIES THAT HE HAS CONTACTED ALL INTERESTED UTILITY COMPANIES AND HAS TRANSFERRED ALL EXISTING AND/OR PROPOSED UTILITY LINES AND RELATED INFORMATION ONTO THESE PLANS AND THAT HE HAS ALSO CORRECTLY PLOTTED THE EXISTING AND PROPOSED RIGHT-OF-WAY EASEMENT LINES.
11. THE CONTRACTOR SHALL BE REQUIRED TO INSTALL A NIGHT TIE-IN FOR ANY NEW WATERLINE THAT WILL AFFECT EXISTING SERVICE SUFFICIENT TO WARRANT SAME IN THE OPINION OF THE TOWN OFFSITE INSPECTOR.
12. ALL IMPROVEMENTS WITHIN THE RETENTION BASIN AND/OR ROADWAY PARKWAYS SHALL BE IN ACCORDANCE WITH THE LATEST TOWN OF GILBERT PROCEDURES FOR DEVELOPERS AND ENGINEERS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY CONSTRUCTION PERMITS, INCLUDING TOWN OF GILBERT AND MARICOPA COUNTY HEALTH DEPARTMENT EXCAVATION AND DIRT MOVING PERMIT.
14. ALL SPRINKLER AND LANDSCAPE WORK MUST BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE TOWN OF GILBERT PROCEDURE MANUAL.
15. NO WALLS, BUILDING OR OTHER OBSTRUCTIONS TO VIEW IN EXCESS OF TWO (2) FEET IN HEIGHT SHALL BE PLACED ON ANY CORNER LOT WITHIN A TRIANGULAR AREA FORMED BY THE CURB LINE CONNECTING THEM AT POINTS 33 FEET FROM THE INTERSECTION OF THE CURB LINES. TREES MAY BE LOCATED WITHIN THE TRIANGLE PROVIDED THEY ARE PRUNED HIGH ENOUGH TO PERMIT UNOBSTRUCTED VISION.
16. ALL ADA REQUIREMENTS TO BE INSTALLED PER APPROVED ARCHITECT'S PLANS.

GRADING AND DRAINAGE NOTES

1. ALL RETENTION BASINS MUST DRAIN ANY STORM EVENT UP TO AND INCLUDING THE 50-YEAR STORM WITHIN 36 HOURS. OWNER(S) OF ANY BASIN FAILING TO MEET THIS REQUIREMENT MUST STAKE CORRECTIVE ACTION TO BRING THE BASIN INTO COMPLIANCE.
2. ALL DRYWELLS SHOWN ON THE PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNER WHEN THEY CEASE TO DRAIN THE SURFACE WATER IN A 36-HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL SILLING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL.

NOTE:
BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED. THE DEVICE MUST BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE AN UP-TO-DATE LIST OF CERTIFIED TESTERS FROM WHICH TO BE SELECTED. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.

NOTE:
CONTRACTOR SHALL SUBMIT AN APPROVED ASPHALT MIX DESIGN FROM THE EAST VALLEY ASPHALT COMMITTEE.

*EXCAVATION AND CONSTRUCTION WORK WILL NOT BE PERMITTED IN PUBLIC RIGHTS-OF-WAY OR PUBLIC UTILITY EASEMENTS ON SATURDAY, SUNDAY OR LEGAL HOLIDAYS.

PAVING NOTES

SUBGRADE MUST MEET ALL TOWN OF GILBERT TESTING REQUIREMENTS AND HAVE APPROVAL OF THE ENGINEERING DEPARTMENT 24 HOURS PRIOR TO PLACING BASE COURSE MATERIAL. STOCKPILING OF BASE MATERIAL ON THE SUBGRADE WILL NOT BE PERMITTED. THE FINISHED BASE COURSE MUST MEET AAL TOWN OF GILBERT TESTING REQUIREMENTS AND HAVE APPROVAL OF THE ENGINEERING DEPARTMENT 24 HOURS PRIOR TO PLACEMENT OF ASPHALT.

CONCRETE NOTES:
ALL SUBGRADE MUST MEET ALL TOWN OF GILBERT TESTING REQUIREMENTS AND HAVE APPROVAL OF THE ENGINEERING DEPARTMENT 24 HOURS PRIOR TO ANY CONCRETE PLACEMENT FOR SIDEWALK, CURB AND/OR GUTTER, VALLEY GUTTERS, APRONS, SCUPPERS, THRUST BLOCKS, MANHOLES, MANHOLE BASES, DRIVEWAYS, DRIVEWAY ENTRANCES, RIBBON CURBS AND INLETS.

WATER & SEWER MAIN CONSTRUCTION NOTE:
BEDDING MATERIAL AND THE PLACEMENT OF BEDDING MATERIAL MUST MEET ALL TOWN OF GILBERT TESTING REQUIREMENTS AND HAVE APPROVAL OF THE ENGINEERING DEPARTMENT 24 HOURS PRIOR TO ANY PIPE INSTALLATION. HAUNCHING AND INITIAL BACKFILL MUST BE APPROVED BY THE ENGINEERING DEPARTMENT PRIOR TO FINAL BACKFILL.

PAVING NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT M.A.G. SPECIFICATIONS AND DETAILS, WITH THE TOWN OF GILBERT ADDITIONS AND DELETIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE TOWN ENGINEER SHALL BE NOTIFIED 24 HOURS PRIOR TO STARTING THE DIFFERENT PHASES OF CONSTRUCTION FOR SCHEDULING INSPECTIONS.
3. ACCEPTANCE OF THE COMPLETED RIGHT-OF-WAY IMPROVEMENTS WILL NOT BE GIVEN UNTIL 4-MIL PHOTO MYLAR REPRODUCIBLE "AS-BUILTS" PLANS HAVE BEEN SUBMITTED TO AND APPROVED BY THE TOWN ENGINEER.
4. LOCATION OF ALL WATER VALVES MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE WATER DISTRIBUTION DIVISION. ONLY TOWN EMPLOYEES ARE AUTHORIZED TO OPERATE THE WATER VALVES AND FIRE HYDRANT CONNECTIONS TO THE TOWN'S WATER SYSTEM.
5. NO PAVING CONSTRUCTION SHALL BE STARTED UNTIL ALL UNDERGROUND UTILITIES WITHIN THE ROADWAY PRISM ARE COMPLETED.
6. WORK PERFORMED WITHOUT APPROVAL OF THE TOWN ENGINEER AND/OR ALL WORK AND MATERIALS NOT IN COMPLIANCE WITH THE SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
7. THE MAXIMUM STAKE INTERVAL FOR GRADES OF 0.2% OR LESS SHALL BE 125 FEET FOR CONCRETE WORK AND 25 FEET FOR ASPHALT ROADWAY SECTION. ALL CURB RETURNS SHALL BE STAKED FOR THE P.C., P.T. AND THE MIDPOINT OF RETURN.
8. BASE COURSE WILL NOT BE PLACED ON SUBGRADE UNTIL BASE REQUIREMENTS HAVE BEEN COMPLETED AND ACCEPTED BY THE TOWN ENGINEER.
9. GUTTERS WILL BE WATER TESTED IN THE PRESENCE OF THE TOWN ENGINEER OR HIS AUTHORIZED REPRESENTATIVE TO INSURE PROPER DRAINAGE, PRIOR TO FINAL APPROVAL BY THE TOWN ENGINEER.
10. EXACT POINT OF MATCHING TERMINATION AND OVERLAY, IF NECESSARY, MAY BE DETERMINED IN THE FIELD BY THE TOWN ENGINEER.
11. NO JOB WILL BE CONSIDERED COMPLETED UNTIL ALL CURBS, PAVEMENT AND SIDEWALKS HAVE BEEN SWEEP CLEAN OF ALL DIRT AND DEBRIS AND ALL SURVEY MONUMENTS ARE INSTALLED ACCORDING TO THE PLANS.
12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL VALVES, MANHOLES AND FLOW OFFS IN ADVANCE OF CONSTRUCTION AND REPLACING SOME TO FINISHED GRADE.
13. THE TOWN OF GILBERT IS NOT RESPONSIBLE FOR LIABILITY ACCRUED DUE TO DELAYS AND/OR DAMAGE TO UTILITIES IN CONJUNCTION WITH THIS CONSTRUCTION. ALSO, THE TOWN WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.
14. TRAFFIC CONTROL SHALL COMPLY WITH M.A.G. SPECIFICATION 401, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND THE CITY OF PHOENIX TRAFFIC CONTROL MANUAL, LATEST EDITION. A TRAFFIC CONTROL PLAN (TCP) SHALL BE SUBMITTED CONFORMING TO THE TOWN OF GILBERT ORDINANCE # 1143 SECTION 10-5.
15. TESTING
A. TESTING OF MATERIAL AND CONSTRUCTION PERFORMANCE BY AN APPROVED TESTING LAB IS REQUIRED.
B. THE TOWN INSPECTOR WILL DETERMINE THE NUMBER AND TYPE OF TESTS NEEDED.
C. THE CONTRACTOR/DEVELOPER WILL NOTIFY THE TESTING LAB OF THE NEEDED TESTS, COORDINATE WITH THE INSPECTOR AND TESTING LAB AND PAY THE COSTS TO PERFORM THE TESTS.
16. TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR IS REQUIRED TO MAKE APPLICATION WITH THE PUBLIC WORKS WATER DIVISION. A DEPOSIT IS REQUIRED TO RECEIVE A FIRE HYDRANT METER. THE TOWN RESERVES THE RIGHT TO SPECIFY THE TIME AND LOCATION THAT CONSTRUCTION WATER CAN BE DELIVERED.
17. ALL FLOOR RETENTION BASIN DEVELOPMENT AND INSTALLATIONS MUST BE COMPLETED AND ACCEPTED BEFORE THE PAVING PERMIT WILL BE ISSUED FOR THE SUBDIVISION.
18. PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF THE WORK THE DEVELOPER/CONTRACTOR WILL BE REQUIRED TO CLEAN AND REPAIR ADJACENT (OFF-PROJECT) ROADWAYS USED DURING THE COURSE OF THEIR CONSTRUCTION.
19. USE OF "RECLAIMED ASPHALT" IS PROHIBITED.
20. GRINDING AND/OR EPOXY PATCHING OF CURBS-GUTTERS-APRONS-VALLEY GUTTERS-DRIVEWAYS-SCUPPERS-MANHOLE BASES AND INVERTS OR ANY CONCRETE STRUCTURE TO CORRECT DEFICIENCIES THAT RESULT FROM IMPROPER GRADE SETTING, OR CONSTRUCTION METHODS, OR BREAKAGE DUE TO ANY CIRCUMSTANCES SHALL BE NOT PERMITTED.
21. ALL METALLIC MATERIALS INLETS, GRATES, FRAMES AND COVERS CATCH BASINS - NOSE ANGLES SHALL BE PAINTED PER M.A.G. SPECIFICATION NO. 790, PAINT NO. 9 (LIGHT GRAY).
22. PARKWAY GRADING SHALL BE DESIGNED TO INSURE THAT RUNOFF CANNOT BE RETAINED BEHIND CURBS OR WALKS.

TRAFFIC CONTROL PLAN NOTE:
A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE TOWN TRAFFIC ENGINEER 48 HOURS PRIOR TO PERFORMING ANY WORK IN THE TRAVELED RIGHT-OF-WAY. THE PLAN MUST CONFORM TO THE "CITY OF PHX. TRAFFIC CONTROL MANUAL."

LANDSCAPE/IRRIGATION NOTE:
ALL LANDSCAPE AND IRRIGATION INSTALLATIONS ARE TO BE IN ACCORDANCE WITH ALL TOWN OF GILBERT STANDARD DETAILS, STREETSCAPE GUIDELINES, AND APPROVED PLANS. THE ENTIRE SYSTEM INCLUDING ALL FITTINGS AND CONNECTION MUST BE INSPECTED AND/OR TESTED BEFORE BACKFILLING BY THE TOWN OF GILBERT OFF-SITE INSPECTOR. THE TOWN OF GILBERT WATER DEPARTMENT REQUIRES AN INSPECTION OF ALL BACKFLOW PREVENTION DEVICES AND PLANTING MATERIALS ARE TO BE INSPECTED BY THE PLANNING DEPARTMENT. THE OFF-SITE INSPECTOR WILL COORDINATE AND/OR SCHEDULE ALL INSPECTIONS. ALL WORKMANSHIP AND IRRIGATION MATERIALS MUST BE UNDER WARRANTY FOR A PERIOD OF ONE YEAR, BY THE CONTRACTOR OR DEVELOPER. ALL PLANT MATERIALS MUST BE WARRANTED AS SPECIFIED ON THE APPROVED PLANS.

WATER NOTES

- A. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT M.A.G. SPECIFICATIONS AND DETAILS WITH THE TOWN OF GILBERT'S ADDITIONS AND DELETIONS.
- B. WATER LINES SHALL COMPLY TO AWWA STANDARD PVC C-900 CLASS 150/C-905 CLASS 165. RIEBER SEALING SYSTEM GASKET JOINT IS RECOMMENDED AND PREFERRED. PIPE BEDDING FOR PVC C-900/C-905 SHALL CONFORM TO TOWN OF GILBERT STANDARD DETAIL NO. 85. ALL FITTINGS AND VALVES SHALL MECHANICAL JOINT TYPE, EXCEPT AS SHOWN ON TOWN OF GILBERT STANDARD DETAIL NO. 60. ALL WATER LINES TO BE PROPERLY RESTRAINED USING JOINT SYSTEM SUCH AS: MEGALUG OR AN APPROVED EQUAL.
- C. THE TOWN ENGINEER SHALL BE NOTIFIED TWENTY-FOUR (24) HOURS PRIOR TO STARTING THE DIFFERENT PHASES OF CONSTRUCTION FOR SCHEDULING INSPECTIONS.
- D. ACCEPTANCE OF THE COMPLETED RIGHT-OF-WAY IMPROVEMENTS WILL NOT BE GIVEN UNTIL FOUR (4) MIL MYLAR REPRODUCIBLE "AS-BUILT" PLANS HAVE BEEN SUBMITTED TO AND APPROVED BY THE TOWN ENGINEER.
- E. LOCATION OF ALL WATER VALVES MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE WATER DISTRIBUTION DIVISION. ONLY TOWN EMPLOYEES ARE AUTHORIZED TO OPERATE THE VALVES AND FIRE HYDRANT CONNECTIONS TO THE TOWN'S WATER SYSTEM.
- F. ANY WORK PERFORMED WITHOUT THE APPROVAL OF THE TOWN ENGINEER AND/OR ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THE SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- G. THE CONTRACTOR WILL UNCOVER ALL EXISTING LINES BEING TIED INTO TO VERIFY THEIR LOCATION PRIOR TO TRENCHING. THE CONTRACTOR WILL LOCATE OR HAVE LOCATED ALL EXISTING UNDERGROUND PIPELINES, TELEPHONE AND ELECTRIC CONDUITS, AND STRUCTURES IN ADVANCE OF CONSTRUCTION AND WILL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO SAME. CALL BLUE STAKE AT (602) 263-1100 AND NOTIFY SRP.
- H. ALL VALVES SHALL BE GATE TYPE, UNLESS OTHERWISE NOTED, AND OPEN COUNTER CLOCKWISE. WATER VALVES SHALL BE MUELLER, CLOW, WATERDUS OR APPROVED EQUAL.
- I. SUMMITS IN WATER LINES SHALL BE LOCATED AT FIRE HYDRANTS.
- J. BACKFILLING SHALL NOT BE STARTED UNTIL LINES ARE APPROVED BY THE TOWN ENGINEER'S REPRESENTATIVE.
- K. ALL BACKFILL FOR WATER LINES "SHALL" BE PER TOWN OF GILBERT STANDARD DETAIL NO. 85 (C-900 PVC WATER PIPE BEDDING DETAIL). ALL PAVEMENT AND SURFACE RESTORATION "SHALL" BE PER TOWN OF GILBERT STANDARD DETAIL NO. 45.
- L. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- M. THE TOWN OF GILBERT IS NOT RESPONSIBLE FOR LIABILITY ACCRUED DUE TO DELAYS AND/OR DAMAGE TO UTILITIES IN CONJUNCTION WITH THIS CONSTRUCTION. ALSO, THE TOWN WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.
- N. ORDINANCE #1437, APPROVED BY THE TOWN COUNCIL IN OCTOBER 2002, STATES: NO CONSTRUCTION WATER FROM FIRE HYDRANTS SHALL BE USED ON PARCELS OR LOTS OF TEN ACRES OR MORE IN SIZE. FOR MORE INFORMATION, THE ORDINANCE IS LOCATED ON THE TOWN OF GILBERT WEBSITE AT WWW.CIGILBERT.AZ.US. TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR IS REQUIRED TO MAKE APPLICATION WITH THE PUBLIC WORKS WATER DIVISION. A SECURITY DEPOSIT IS REQUIRED TO RECEIVE A FIRE HYDRANT METER. THE TOWN RESERVES THE RIGHT TO SPECIFY THE TIME AND LOCATION THAT ONSTRUCTION WATER CAN BE DELIVERED.
- D. WATER SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF GILBERT STANDARD DETAIL 62.
- P. FIRE HYDRANTS SHALL BE MUELLER CENTURIUM, CLOW - MEDALLION, AVK, CLOW - F500, WATERDUS OR APPROVED EQUAL. AND INSTALLED PER TOWN OF GILBERT STANDARD DETAIL 60, AND SHALL BE 3'-6" BURY DEPTH. ADJUSTMENTS IN GRADE SHALL BE DONE USING "GRADELOK" OFFSET. EXTENSIONS ON FIRE HYDRANTS WILL NOT BE PERMITTED. A BLACK, HEAVY DUTY BAG WITH A "TIE DOWN" SHALL BE PLACED OVER ALL NEW HYDRANTS AND MAINTAINED UNTIL THE SYSTEM HAS BEEN APPROVED BY THE INSPECTOR.

REGISTER RESOLUTION
3/4" SR SENSUS OR 3/4" METRON FARNIER
POSITIVE DISPLACEMENT, MULTI-JET OR SINGLE-JET
1" SR SENSUS OR 1" METRON FARNIER
POSITIVE DISPLACEMENT, MULTI-JET OR SINGLE-JET
1-1/2" THRU 10" METRON FARNIER
METRON-FARNIER SINGLE-JET

METER SIZE (GALLONS)
1,000
1,000
1,000
1,000
1,000

METER TYPE
1,000
1,000
1,000
1,000
1,000

SEWER NOTES:
A. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT M.A.G. SPECIFICATIONS AND DETAILS, WITH THE TOWN OF GILBERT'S ADDITIONS AND DELETIONS.

B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE TOWN ENGINEER SHALL BE NOTIFIED TWENTY-FOUR (24) HOURS PRIOR TO THE DIFFERENT PHASES OF CONSTRUCTION FOR SCHEDULING INSPECTIONS.

C. ACCEPTANCE OF THE COMPLETED RIGHT-OF-WAY IMPROVEMENTS WILL NOT BE GIVEN UNTIL FOUR (4) MIL MYLAR REPRODUCIBLE "AS-BUILT" PLANS HAVE BEEN SUBMITTED TO AND APPROVED BY THE TOWN ENGINEER.

D. LOCATION OF ALL WATER VALVES MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE PUBLIC WORKS DEPARTMENT. ONLY TOWN EMPLOYEES ARE AUTHORIZED TO OPERATE THE VALVES AND FIRE HYDRANT CONNECTIONS TO THE TOWN'S WATER SYSTEM.

E. ANY WORK PERFORMED WITHOUT THE APPROVAL OF THE TOWN ENGINEER AND/OR ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THE SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

F. THE CONTRACTOR WILL UNCOVER ALL EXISTING LINES BEING TIED INTO TO VERIFY THEIR LOCATION PRIOR TO TRENCHING. THE CONTRACTOR WILL LOCATE OR HAVE LOCATED ALL EXISTING UNDERGROUND PIPELINES, TELEPHONE AND ELECTRIC CONDUITS, AND STRUCTURES IN ADVANCE OF CONSTRUCTION AND WILL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO THE SAME. CALL BLUE STAKE AT (602) 263-1100 AND NOTIFY S.R.P.

G. BACKFILLING SHALL NOT BE STARTED UNTIL ALL LINES ARE APPROVED BY THE TOWN ENGINEER.

H. ALL BACKFILL FOR PVC SEWER LINES "SHALL" BE PER TOWN OF GILBERT STANDARD DETAIL NO. 86. ALL BACKFILL FOR VCP SEWER LINES "SHALL" BE PER TOWN OF GILBERT STANDARD DETAIL NO. 87. ALL PAVEMENT AND SURFACE RESTORATION "SHALL" BE PER TOWN OF GILBERT STANDARD DETAIL NO. 45.

I. THE TOWN OF GILBERT IS NOT RESPONSIBLE FOR LIABILITY ACCRUED DUE TO DELAYS AND/OR DAMAGES TO UTILITIES IN CONJUNCTION WITH THIS CONSTRUCTION. ALSO, THE TOWN WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.

J. MANHOLE STEPS TO BE PLASTIC TYPE ONLY. MANHOLE STEPS SHALL NOT BE PERMITTED IN FIVE-FOOT DIAMETER MANHOLES.

K. PRECAST MANHOLES TO HAVE IMPRESSION RING TYPE BASES, AND USE GROUT OR RAM-NEK BETWEEN EACH PRECAST SECTION.

L. ALL RINGS AND COVERS SHALL BE NEENAH R-1642, TYPE "B" NON-ROCKING FOR FIVE-FOOT DIAMETER MANHOLES AND NEENAH R-1743, TYPE "B", BOLT DOWN FOR FIVE-FOOT MANHOLES.

M. ALL TAPS SHALL BE WYE TYPE.

N. ALL SEWER TAPS SHOULD BE FOUR AND ONE-FOURTH (4 1/4) FEET DEEP AT THE PROPERTY LINE.

O. A MINIMUM OF SIX (6) FEET OF HORIZONTAL SPACING BETWEEN SEWER AND WATER SERVICES SHALL BE MAINTAINED.

P. TRAFFIC CONTROL SHALL BE PER THE 2003 EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES HANDBOOK AND TOWN OF GILBERT STANDARD DETAILS.

Q. THE TOWN INSPECTOR WILL DETERMINE THE NUMBER AND LOCATION OF THE REQUIRED COMPACTION TESTS. THE CONTRACTOR/DEVELOPER WILL NOTIFY THE TESTING LAB, AND PAY THE COSTS TO PERFORM THE TESTS.

R. THE TOWN INSPECTOR WILL DETERMINE THE NUMBER AND LOCATION OF THE REQUIRE COMPACTION TESTS. THE CONTRACTOR/DEVELOPER WILL NOTIFY THE TESTING LAB, AND PAY THE COSTS TO PERFORM THE TESTS.

S. THE TOWN WILL NOT ACCEPT WATER LINES WITH LESS THAN THREE (3) FEET OF COVER.

T. A MINIMUM OF SIX-FOOT HORIZONTAL SPACING BETWEEN SEWER AND WATER SERVICES SHALL BE MAINTAINED.

U. PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF THE WORK THE DEVELOPER/CONTRACTOR WILL BE REQUIRED TO CLEAN AND REPAIR ADJACENT (OFF-PROJECT) ROADWAYS USED DURING THE COURSE OF THEIR CONSTRUCTION.

V. A 2" X 4" STAKE (PAINTED BLUE) SHALL BE SET ONE (1) FOOT BEHIND EACH WATER SERVICE. ALL 2" X 4" STAKES MARKING WATER SERVICES SHALL BE FIVE (5) FEET IN LENGTH AND FIRMLY SET INTO THE GROUND TO A DEPTH OF THREE (3) FEET.

W. ALL BACKFLOW PREVENTION DEVICES SHALL MEET THE REQUIREMENTS OF THE TOWN OF GILBERT BACKFLOW PREVENTION ORDINANCE (#869), OTHERWISE KNOWN AS ARTICLE 7-14 OF THE TOWN OF GILBERT MUNICIPAL CODE. CROSS CONNECTION CONTROL.

X. ALL BACKFLOW DEVICES SHALL BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE AN UP-TO-DATE LIST OF CERTIFIED TESTERS FROM WHICH TO BE SELECTED. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.

Y. NOTE: A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPING OR IRRIGATION SYSTEM. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. FOUR (4) MIL MYLAR AS-BUILTS ARE ALSO REQUIRED.

Z. USE THE FOLLOWING TABLE FOR METER BOXES AND METER BOX COVERS:

METER SIZE	MAG STD. DETAIL	MAG STD. BOX NO.
1/2"	#A6000485*	#A6000484*
1"	#A6000485*	#A6000484*
2"	320-4	313-NO. 4

*ARMORCOST PRODUCTS COMPANY; COVER WITH HOLE FOR TOUCH PAD.

CALL OUT THE NUMBER OF THE MAG STANDARD DETAIL NUMBERS FOR YOUR METER BOXES AND COVERS IN YOUR LIST OF QUANTITIES.

WATER NOTES (CONTINUED)

AA. ADD THE FOLLOWING NOTE TO ALL WATER PLANS. CALCIUM HYPOCHLORITE SHALL BE ADDED TO ALL NEW WATER MAINS/FIRE LINES FOR DISINFECTION PER THE FOLLOWING TABLE:

12" MAINS - .35 LBS. OR 5.6 OZ. PER ONE-HUNDRED (100) FEET OF PIPE	8" MAINS - .12 LBS. OR 1.92 OZ. PER ONE-HUNDRED (100) FEET OF PIPE
6" MAINS - .08 LBS. OR .48 OZ PER ONE-HUNDRED (100) FEET OF PIPE	

AB. WATER METER REGISTER ODDMETER RESOLUTION SPECIFICATION. ALL WATER METER REGISTERS FURNISHED TO, OR INSTALLED IN THE TOWN OF GILBERT, ARIZONA SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS.

A. ALL REGISTERS SHALL HAVE AN ENCODED OUTPUT AND UTILIZE SENSUS PROTOCOL. REGISTERS WILL HAVE ELECTRONIC TONE READ CAPABILITY AND BE ENTIRELY COMPATIBLE WITH CURRENT TOWN OF GILBERT METER READING EQUIPMENT.

B. REGISTER RESOLUTION FOR METER SIZE SHALL BE AS FOLLOWS:

REGISTER RESOLUTION	METER SIZE (GALLONS)	METER TYPE
3/4" SR SENSUS OR 3/4" METRON FARNIER	1,000	POSITIVE DISPLACEMENT, MULTI-JET OR SINGLE-JET
1" SR SENSUS OR 1" METRON FARNIER	1,000	POSITIVE DISPLACEMENT, MULTI-JET OR SINGLE-JET
1-1/2" THRU 10" METRON FARNIER	1,000	METRON-FARNIER SINGLE-JET

ALL METERS SHALL MEET AWWA NEW METER TEST STANDARDS.

WATER AND SEWER SERVICE INSTALLATION SPECIFICATIONS ARE DEPICTED IN THE TOWN OF GILBERT STANDARD DETAILS AS FOLLOWS:

NO. 62 1/2" TO 2" WATER SERVICE INSTALLATION	NO. 60 FIRE HYDRANT
NO. 61 PAVEMENT MARKERS FOR FIRE HYDRANTS	NO. 83 REDUCED PRESSURE PRINCIPLE DEVICE
NO. 83-A AIR RELEASE VALVE	NO. 83-B GUARD POSTS
NO. 83-C DOUBLE CHECK VALVE ASSEMBLY	NO. 83-F REDUCED PRESSURE PRINCIPLE - LANDSCAPE

A. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT M.A.G. SPECIFICATIONS AND DETAILS, WITH THE TOWN OF GILBERT'S ADDITIONS AND DELETIONS.

B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE TOWN ENGINEER SHALL BE NOTIFIED TWENTY-FOUR (24) HOURS PRIOR TO THE DIFFERENT PHASES OF CONSTRUCTION FOR SCHEDULING INSPECTIONS.

C. ACCEPTANCE OF THE COMPLETED RIGHT-OF-WAY IMPROVEMENTS WILL NOT BE GIVEN UNTIL FOUR (4) MIL MYLAR REPRODUCIBLE "AS-BUILT" PLANS HAVE BEEN SUBMITTED TO AND APPROVED BY THE TOWN ENGINEER.

D. LOCATION OF ALL WATER VALVES MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE PUBLIC WORKS DEPARTMENT. ONLY TOWN EMPLOYEES ARE AUTHORIZED TO OPERATE THE VALVES AND FIRE HYDRANT CONNECTIONS TO THE TOWN'S WATER SYSTEM.

E. ANY WORK PERFORMED WITHOUT THE APPROVAL OF THE TOWN ENGINEER AND/OR ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THE SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

F. THE CONTRACTOR WILL UNCOVER ALL EXISTING LINES BEING TIED INTO TO VERIFY THEIR LOCATION PRIOR TO TRENCHING. THE CONTRACTOR WILL LOCATE OR HAVE LOCATED ALL EXISTING UNDERGROUND PIPELINES, TELEPHONE AND ELECTRIC CONDUITS, AND STRUCTURES IN ADVANCE OF CONSTRUCTION AND WILL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO THE SAME. CALL BLUE STAKE AT (602) 263-1100 AND NOTIFY S.R.P.

G. BACKFILLING SHALL NOT BE STARTED UNTIL ALL LINES ARE APPROVED BY THE TOWN ENGINEER.

H. ALL BACKFILL FOR PVC SEWER LINES "SHALL" BE PER TOWN OF GILBERT STANDARD DETAIL NO. 86. ALL BACKFILL FOR VCP SEWER LINES "SHALL" BE PER TOWN OF GILBERT STANDARD DETAIL NO. 87. ALL PAVEMENT AND SURFACE RESTORATION "SHALL" BE PER TOWN OF GILBERT STANDARD DETAIL NO. 45.

I. THE TOWN OF GILBERT IS NOT RESPONSIBLE FOR LIABILITY ACCRUED DUE TO DELAYS AND/OR DAMAGES TO UTILITIES IN CONJUNCTION WITH THIS CONSTRUCTION. ALSO, THE TOWN WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.

J. MANHOLE STEPS TO BE PLASTIC TYPE ONLY. MANHOLE STEPS SHALL NOT BE PERMITTED IN FIVE-FOOT DIAMETER MANHOLES.

K. PRECAST MANHOLES TO HAVE IMPRESSION RING TYPE BASES, AND USE GROUT OR RAM-NEK BETWEEN EACH PRECAST SECTION.

L. ALL RINGS AND COVERS SHALL BE NEENAH R-1642, TYPE "B" NON-ROCKING FOR FIVE-FOOT DIAMETER MANHOLES AND NEENAH R-1743, TYPE "B", BOLT DOWN FOR FIVE-FOOT MANHOLES.

M. ALL TAPS SHALL BE WYE TYPE.

N. ALL SEWER TAPS SHOULD BE FOUR AND ONE-FOURTH (4 1/4) FEET DEEP AT THE PROPERTY LINE.

O. A MINIMUM OF SIX (6) FEET OF HORIZONTAL SPACING BETWEEN SEWER AND WATER SERVICES SHALL BE MAINTAINED.

P. TRAFFIC CONTROL SHALL BE PER THE 2003 EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES HANDBOOK AND TOWN OF GILBERT STANDARD DETAILS.

Q. THE TOWN INSPECTOR WILL DETERMINE THE NUMBER AND LOCATION OF THE REQUIRED COMPACTION TESTS. THE CONTRACTOR/DEVELOPER WILL NOTIFY THE TESTING LAB, COORDINATE WITH THE INSPECTOR AND TESTING LAB, AND PAY THE COSTS TO PERFORM THE TESTS.

R. ORDINANCE #1437, APPROVED BY THE TOWN COUNCIL IN OCTOBER 2002, STATES: NO CONSTRUCTION WATER FROM FIRE HYDRANTS SHALL BE USED ON PARCELS OR LOTS OF TEN ACRES OR MORE IN SIZE. FOR MORE INFORMATION, THE ORDINANCE IS LOCATED ON THE TOWN OF GILBERT WEBSITE AT WWW.CIGILBERT.AZ.US. TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR IS REQUIRED TO MAKE APPLICATION WITH THE PUBLIC WORKS WATER DIVISION. A SECURITY DEPOSIT IS REQUIRED TO RECEIVE A FIRE HYDRANT METER. THE TOWN RESERVES THE RIGHT TO SPECIFY THE TIME AND LOCATION THAT CONSTRUCTION WATER CAN BE DELIVERED.

S. THE TOWN WILL NOT ACCEPT SEWER LINES WITH LESS THAN FOUR (4) FEET OF COVER.

T. PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF THE WORK THE DEVELOPER/CONTRACTOR WILL BE REQUIRED TO CLEAN AND REPAIR ADJACENT (OFF-PROJECT) ROADWAYS USED DURING THE COURSE OF THEIR CONSTRUCTION.

U. CONSULTANT PREPARING PLANS SHALL ADD THIS NOTE, IN BOX WITH ARROW TO THE APPROPRIATE MANHOLE, ON ALL SEWER PLANS.

NOTE: ACCESS TO EXISTING SANITARY SEWER MAINS WILL NOT BE PERMITTED UNTIL ALL NEW SEWER CONSTRUCTION HAS BEEN APPROVED AND ACCEPTED. NEW SEWER CONSTRUCTION SHALL BE ISOLATED FROM THE EXISTING SYSTEM AS FOLLOWS:

A REINFORCED PLUG WILL BE PLACED IN THE OUTLET OF THE LAST MANHOLE (MOST DOWNSTREAM) IN THE SYSTEM UNDER CONSTRUCTION. THIS PLUG WILL NOT BE REMOVED WITHOUT:

1. ALL PAVING COMPLETED AND MANHOLE RINGS AND COVERS AT CORRECT GRADE.
2. INSPECTOR'S PERMISSION.

V. A 2" X 4" STAKE (PAINTED GREEN) SHALL BE SET ONE (1) FOOT BEHIND EACH SEWER SERVICE. ALL 2" X 4" STAKES MARKING SEWER SERVICES SHALL BE FIRMLY SET INTO THE GROUND AT THE ELEVATION OF THE FLOW LINE AND SHALL EXTEND TWO (2) FEET ABOVE THE GROUND SURFACE

STANDARD FIRE DEPARTMENT NOTES

1. CONSTRUCTION WITHIN THE TOWN OF GILBERT SHALL COMPLY WITH THE 2006 INTERNATIONAL FIRE CODE, AS AMENDED BY THE TOWN CONSTRUCTION ORDINANCE, SECTION 10-37-1.

2. THE APPLICANT IS RESPONSIBLE TO IDENTIFY AND COORDINATE DEFERRED SUBMITTALS.

3. FIRE SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA STANDARDS AND TOWN OF GILBERT SPRINKLER ORDINANCE.

4. THE FIRE SPRINKLER RISER SHALL BE LOCATED INSIDE THE BUILDING WITH DIRECT EXTERIOR ACCESS. ALL OCCUPANCIES ARE REQUIRED TO PROVIDE EXTERIOR ACCESS TO A FIRE RISER ROOM DESIGNED FOR THE FIRE SYSTEMS ONLY.

5. FIRE DEPARTMENT INLET CONNECTIONS (FDC) SHALL BE LOCATED ON THE WALL OF THE ADDRESS SIDE OR NATURAL APPROACH OF THE BUILDING IT SERVES AND SHALL IDENTIFY THE BUILDING(S) SERVED WITH PERMANENT SIGNAGE.

6. ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATER-FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLER HEADS EXCEEDS 19. IBC SECTION 903.4.

7. IN ADDITION TO THE EXTERIOR BELL OR HORN, AN APPROVED AUDIBLE/VISUAL FIRE SPRINKLER FLOW ALARM SHALL BE PROVIDED IN THE INTERIOR OF ALL BUILDINGS IN A NORMALLY OCCUPIED LOCATION. THE A/V DEVICE SHALL BE A MINIMUM OF 75 CD LUMENS AND 15 DB ABOVE THE AMBIENT SOUND LEVEL. IFC SECTION 907.10 AND ADAAG SECTION 4.28.

8. A FIRE HYDRANT SHALL BE LOCATED WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION (FDC). THE ROUTE IS TO BE MEASURED AS THE FIRE HOSE WOULD BE LAID OUT AND IS NOT MEASURED IN A CIRCLE AROUND THE FIRE HYDRANT, AND DOES NOT GO THROUGH WATER RETENTION BASINS, OVER WALLS OR SIMILAR OBSTRUCTIONS.

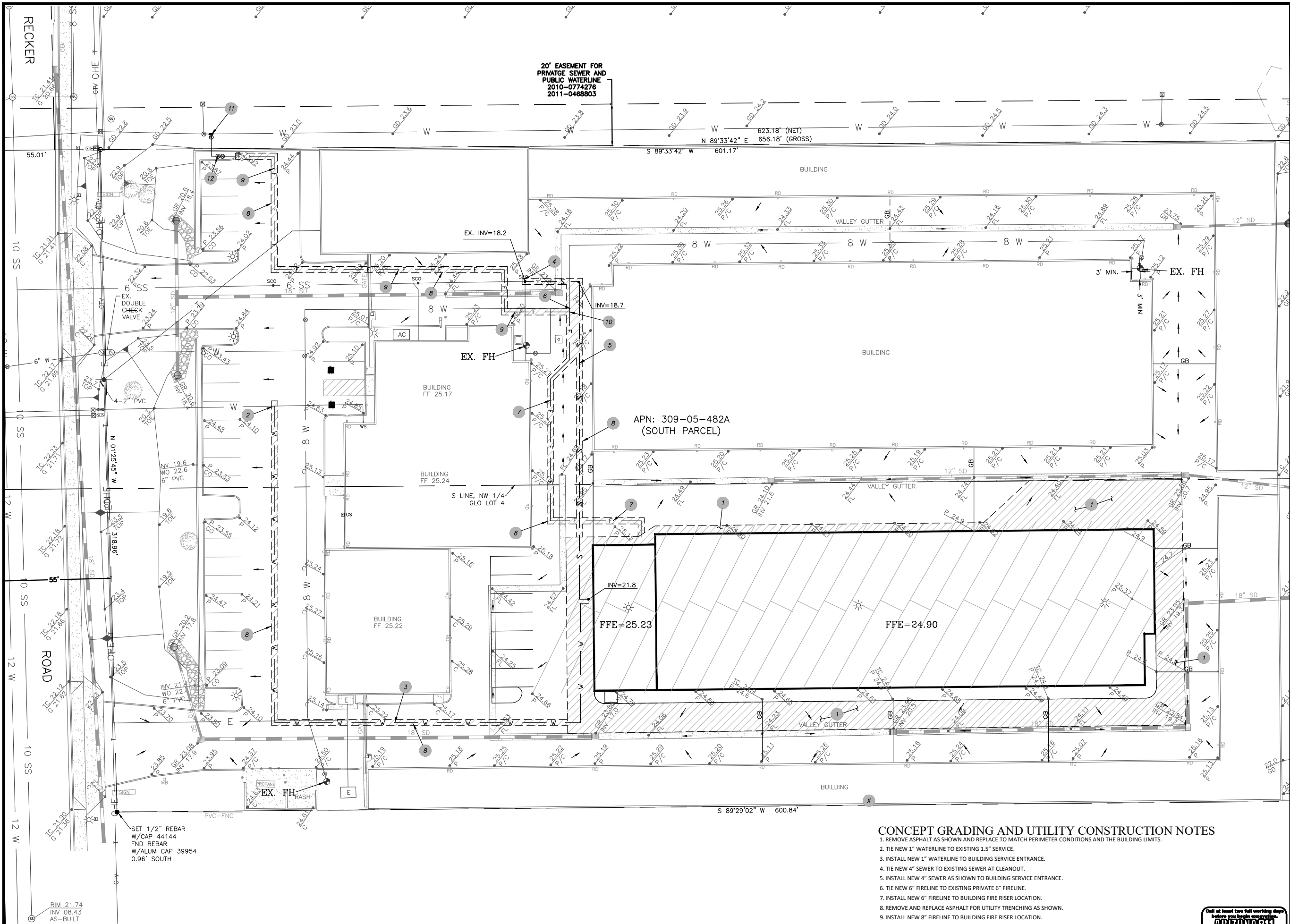
9. THE MINIMUM NUMBER OF FIRE HYDRANTS SHALL NOT BE LESS THAN REQUIRED PER 2006 IFC APPENDIX B & C. THE MINIMUM REQUIRED FIRE FLOW IS 1500 (GPM) AT 20 (PSI) RESIDUAL PRESSURE.

10. PLANS AND SPECIFICATIONS FOR FIRE SPRINKLER SYSTEMS EXCEEDING 19 HEADS SUBMITTED FOR REVIEW SHALL BE SEALED BY A QUALIFIED ARIZONA REGISTRANT IN FIRE SPRINKLER DESIGN. THE INSTALLING CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER ARE TO BE INCLUDED ON THE DRAWINGS AND CALCULATIONS SUBMITTED FOR REVIEW AND APPROVAL. AS-BUILT DRAWINGS WILL BE REQUIRED WHERE FIELD CHANGES ARE MADE TO THE DESIGNED DRAWINGS.

11. FIRE SPRINKLERS SHALL BE INSTALLED IN ALL CONCEALED SPACES ENCLOSED WHOLLY OR PARTLY BY EXPOSED COMBUSTIBLE CONSTRUCTION.

12. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY. BUILDING, OR PORTION OF A BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION, THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION AND SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY. THE ROUTE IS TO BE MEASURED AROUND THE BUILDING AS THE FIRE HOSE WOULD BE LAID OUT AND IS NOT MEASURED THROUGH INTERIOR OR COVERED WALKWAYS OR WATER RETENTION BASINS. THE ROUTE OF THE FIRE APPARATUS ACCESS ROAD SHALL BE APPROVED BY THE FIRE DEPARTMENT. APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20 FEET (FOC). A MINIMUM VERTICAL CLEARANCE OF 15 FEET SHALL BE PROVIDED FOR THE APPARATUS ACCESS ROADS. CONFIRM FIRE APPARATUS TURNING RADIUS 35 FEET INSIDE AND 55 FEET OUTSIDE (FOC).

13. FIRE LANES SHALL BE MARKED BY SIGNS PER TOG DETAIL #63, AND/OR CURB PAINTED RED AND LABELED "FIRE LANE NO PARKING". PLACED NOT GREATER THAN 75' APART AT THE BEGINNING AND END OF



CONCEPT GRADING AND UTILITY CONSTRUCTION NOTES

1. REMOVE ASPHALT AS SHOWN AND REPLACE TO MATCH PERIMETER CONDITIONS AND THE BUILDING LIMITS.
2. THE NEW 1" WATERLINE TO EXISTING 1.5" SERVICE.
3. INSTALL NEW 1" WATERLINE TO BUILDING SERVICE ENTRANCE.
4. THE NEW 4" SEWER TO EXISTING SEWER AT CLEANOUT.
5. INSTALL NEW 4" SEWER AS SHOWN TO BUILDING SERVICE ENTRANCE.
6. TIE NEW 6" FIRELINE TO EXISTING PRIVATE 6" FIRELINE.
7. INSTALL NEW 6" FIRELINE TO BUILDING FIRE RISER LOCATION.
8. REMOVE AND REPLACE ASPHALT FOR UTILITY TRENCHING AS SHOWN.
9. INSTALL NEW 8" FIRELINE TO BUILDING FIRE RISER LOCATION.
10. INSTALL 8"x6" TEE
11. INSTALL 8" T.S.V.B&C.
12. INSTALL 8" DOUBLE CHECK VALVE BFP



DRAWING STATUS:

RECKER ROAD SELF STORAGE
CONCEPTUAL G&D PLAN
1501 N. RECKER ROAD
GILBERT, ARIZONA

REVISIONS:

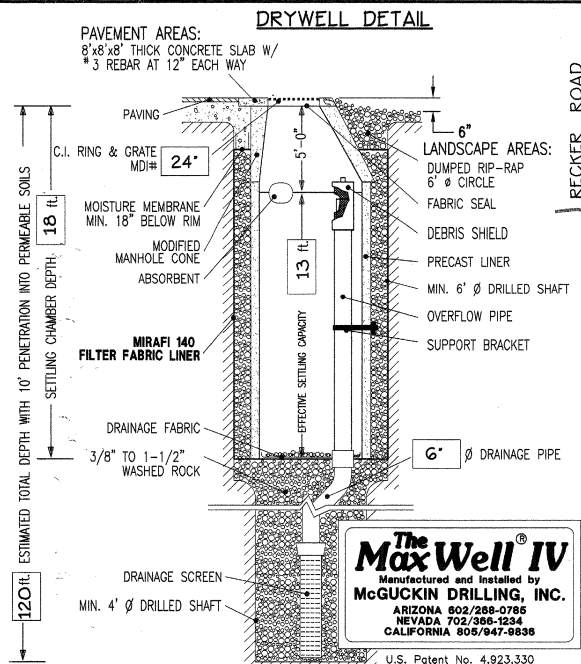
1	
2	



DATE ISSUED: 1-15-19
DESIGNED BY: CGJ
DRAWN BY: CGJ
CHECKED BY: JDL
PROJECT NO. 0122
SCALE: 1"=20'
SHEET NO.

3 OF 3

TRACKING NO.



PRECAST LINER: 4000 PSI CONCRETE 48"x10.54"x10.5. STANDARD UTILITY CONSTRUCTION, EXCEPT FLAT BOTTOM.

OVERFLOW PIPE: SCHEDULE 40 PVC MATED TO DRAINAGE PIPE BELOW ROCK.

BRACKETS: FORMED 12 GA. STEEL. FUSION BONDED EPOXY COATED.

PURFLO® DEBRIS SHIELD: ROLLED 16 GA. STEEL X 24" LENGTH WITH INTERNAL .265" MAX. SLO FLATTENED EXPANDED STEEL SCREEN & ANTI-SIPHON X 12" LENGTH. FUSION BONDED EPOXY COATED.

DRAINAGE PIPE: ADS HIGHWAY GRADE OR EQUAL. RINGS AND GRATES - CLEAN CAST IRON WITH WORDING "STORM WATER ONLY" IN RAISED LETTERS. MACHINED MATING SURFACES. BOLTED IN TWO LOCATIONS.

ROCK: CLEAN & WASHED SIZED BETWEEN 3/8" AND 1-1/2", TO COMPLEMENT SOIL CONDITIONS.

MOISTURE MEMBRANE: 6 MIL. PLASTIC. PLACE SECURELY AGAINST CONE AND HOLE SIDEWALL.

DRAINAGE FABRIC: NON-WOVEN GEOTEXTILE FABRIC. PLACE FABRIC TIGHTLY AGAINST LINER AND PIPE.

ABSORBENT: HYDROPHOBIC PETROCHEMICAL SPONGE-MIN. 4 QT. CAPACITY. STANDARD IN ALL PAVED DRAINAGE AREAS.

FLOFAST® DRAINAGE SCREEN: SCHEDULE 40 PVC 0.120 SLOTTED WELL SCREEN WITH 32 SLOTS PER ROW/FT 96" OVERALL LENGTH WITH MDH-B COUPLER OR EQUAL.

HOLE: ARE TO BE DRILLED IN A MANNER TO MAINTAIN PERMEABILITY OF DRAINAGE SOILS. HOLE SHAFT TO BE A MINIMUM OF 4'0" TO MAXIMIZE SURFACE AREA.

DRAINAGE PIPE: SHALL BE SUSPENDED DURING BACKFILL OPERATIONS TO PREVENT BUCKLING OR BREAKAGE.

CENTER PRECAST LINER: IN HOLE AND ALIGN SECTIONS TO MAXIMIZE BEARING SURFACE.

SECURE RING AND GRATE: TO CONE WITH MORTAR. RIM ELEVATION +0.02' OF PLANS.

DRYWELL MANUFACTURER: IS TO INSTALL U.V. RESISTANT FABRIC SEAL BENEATH GRADE. TO BE REMOVED BY CUSTOMER, AT END OF PROJECT, AFTER PAVING AND LANDSCAPING ARE COMPLETED.

THE ESTIMATE OF DRYWELL DEPTH SHOWN WAS PROVIDED BY McGUCKIN DRILLING, INC. ON

LEGAL DESCRIPTION

The South half of the South half of the Northwest quarter of Lot 4, Section 1, Township 1 South, Range 6 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

LEGAL DESCRIPTION: PARCEL NO. 2

The North half of the North half of the following described Parcel 'A':

The Southwest quarter of Lot 4, Section 1, Township 1 South, Range 6 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

EXCEPT the South 30.00 feet of said Parcel 'A':

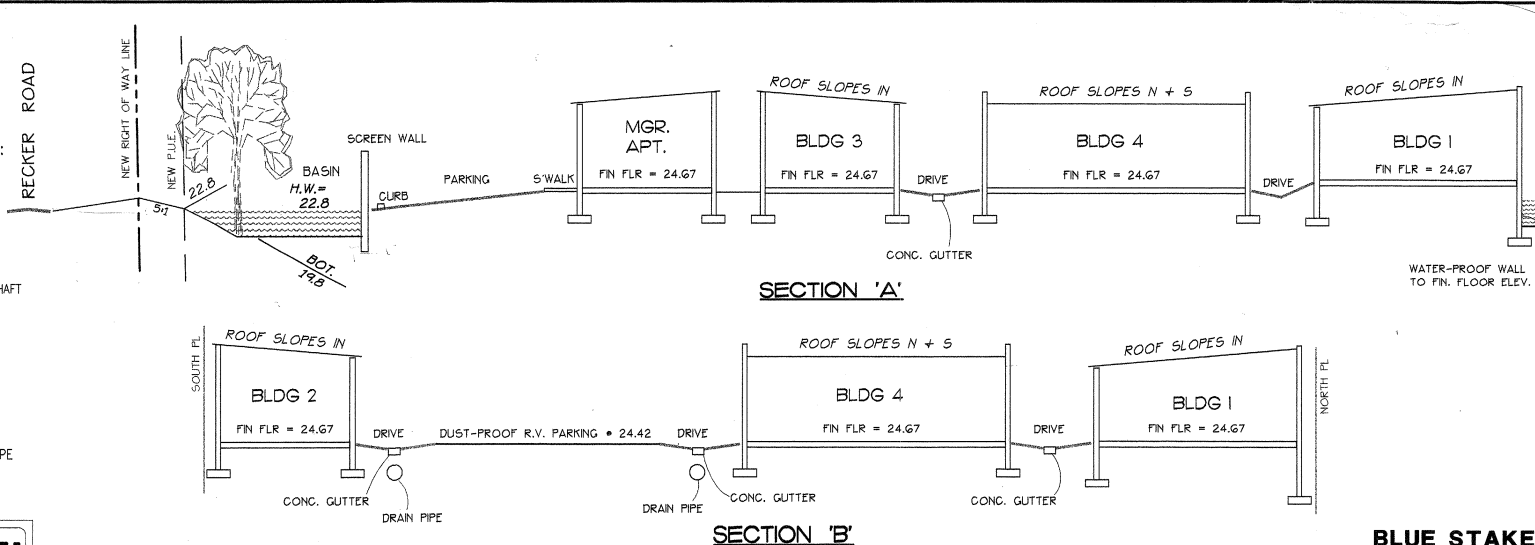
Described property being located in the Northwest quarter of Section 1, Township 1 South, Range 6 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, and comprising an area of 208,973 square feet or 4.7974 acres more or less.

DESIGN NOTES

- NO SOILS INVESTIGATION HAS BEEN PERFORMED AT THIS SITE. THE DRAWING HAS BEEN MADE TO SCALE BUT ALL DIMENSIONS ARE SUBJECT TO MINOR ADJUSTMENT DURING THE DESIGN PHASE.
- THIS DESIGN IS BASED UPON A RECENT FIELD SURVEY PROVIDED BY THE OWNER.
- THE FINISHED FLOORS ARE FREE FROM INUNDATION DURING A 100-YEAR PEAK RUNOFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS.

	PLANS SUBMITTED	PLANS REVIEWED BY	RESPONSE
CITY OF MESA - WATER	4-13-03		
SOUTHWEST - GAS	4-13-03	E. ROGERS	5-01-03
SALT RIVER PROJECT- IRRIGATION	4-13-03		
SALT RIVER PROJECT- ELECTRICAL	4-13-03	J. SCHNEIDER	4-24-03
QWEST COMMUNICATIONS - TELEPHONE	4-13-03	J. CALDWELL	5-02-03
COX - CABLE TV	4-13-03	4-13-03	4-13-03
EL PASO NAT. GAS	4-13-03	T. HOWEL	4-21-03
CITY OF MESA - SEWER	4-13-03		

NOTES ALSO REQUIRING PERMITS WHEN INVOLVED ARE: MARICOPA COUNTY HIGHWAY DEPT.; STATE DEPT. OF TRANSPORTATION; CITY OF PHOENIX; AND SANTA FE RAILROAD.



GENERAL NOTES

- UNLESS OTHERWISE NOTED, ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE M.A.G. SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE M.A.G. STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, AS MAY BE SUPERCEDED BY MARICOPA COUNTY'S PUBLISHED MODIFICATIONS THERETO, OR AS SUPERCEDED BY THESE PLANS OR THE SOILS REPORT.
- SEE APPROVED ARCHITECTURAL SITE PLAN FOR HORIZONTAL DIMENSIONS.
- USE APPROVED AND PERMIT PLANS FOR CONSTRUCTION STAKING AND CONSTRUCTION.
- THE CONTRACTOR SHALL EXPOSE AND DETERMINE THE LOCATION AND ELEVATION OF ALL UTILITY SERVICES PRIOR TO ANY SERVICE LINE TRENCHING AND CONSTRUCTION. BEFORE INSTALLING BUILDING PLUMBING, THE CONTRACTOR SHALL EXPOSE SEWER TAPS AND CONFIRM THAT SUFFICIENT SLOPE IS AVAILABLE. PIPES WHICH ARE REQUIRED TO BE LAID TO A DEFINITE SLOPE (SUCH AS SANITARY SEWERS OR STORM DRAINS) SHALL BE INSTALLED BEFORE WATER LINES. ELECTRICAL SERVICES OR OTHER UTILITIES, MAINTAIN REQUIRED CLEARANCES BETWEEN UNDERGROUND FACILITIES.
- THE SITE SHALL BE PRE-GRADED BEFORE THE INSTALLATION OF ANY UNDERGROUND UTILITIES.
- THE SITE SHALL BE GRADED TO A FINISHED SURFACE WHICH IS REASONABLY SMOOTH, UNIFORM, COMPACTED AND FREE FROM IRREGULARITIES. TYPICAL SECTIONS ON THE PLANS SHOW THE RELATIONSHIP BETWEEN FINISHED GRADES AND THE SUBGRADE ELEVATIONS.
- HORIZONTAL LOCATIONS SHALL BE WITHIN 0.3 FEET OF PLAN DIMENSIONS AND TYPICAL SECTIONS. AVERAGE SLOPES SHALL VARY FROM THE DESIGN PLAN BY NO MORE THAN 6-INCHES WHEN MEASURED AT RIGHT ANGLES TO THE SLOPE. RETENTION BASINS AND OTHER UN-PAVED AREAS SHALL BE GRADED SO THAT UPON COMPLETION OF ALL CONSTRUCTION, INCLUDING LANDSCAPING, THE DESIGN ELEVATIONS AND CROSS SECTIONS ARE MET.
- SPOT ELEVATIONS SHOWN ON THE PLANS ARE CONTROL ELEVATIONS ON FINISHED SURFACES (TOP OF PAVEMENT, TOP OF CONCRETE, FINISHED GROUND SURFACE, ETC.). FINISHED SURFACES ARE TO BE STRAIGHT-GRADED BETWEEN SPOT ELEVATIONS TOWARDS THE DRAINS, OUTLETS & SLOPE DIRECTIONS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL ACCEPT ALL EXISTING CONDITIONS INCLUDING TRENCH BACKFILL & COMPACTIONS WHICH MIGHT AFFECT THE PERFORMANCE OF THE PROJECT. PRIOR TO BEGINNING CONSTRUCTION OPERATIONS, INITIATION OF ANY WORK BY THE CONTRACTOR SHALL BE INTERPRETED AS ACCEPTABLE OF ALL CONDITIONS WHICH MIGHT AFFECT THE PERFORMANCE OF THE FINISHED CONSTRUCTION.
- ALL RAMP AND ACCESSIBLE ROUTES AND AREAS SHALL BE CONSTRUCTED IN COMPLETE CONFORMANCE WITH A.D.A. REGULATIONS.
- PAVING SHALL NOT BEGIN UNTIL ALL UNDERGROUND FACILITIES (INCLUDING SLEEVES) HAVE BEEN INSTALLED AND ACCEPTED.
- IF ANY DISCREPANCIES OR OMISSIONS ARE FOUND IN THESE PLANS, THE DESIGN ENGINEER SHALL BE NOTIFIED BEFORE ANY INTERPRETATION OR DECISION IS MADE WHICH WILL AFFECT THE CONSTRUCTION COST, APPEARANCE, QUALITY AND / OR PERFORMANCE OF THE COMPLETED WORK.
- SEE RELATED PLANS FOR DETAILS OF OTHER CONSTRUCTION ON THIS SITE.
- PROVIDE OWNER WITH 'AS-BUILT' PLANS UPON COMPLETION.
- INSTALL ALL UTILITIES THAT MUST BE SET TO A VERTICAL ELEVATION BEFORE INSTALLING WATER, FIRE, IRRIGATION OR DRY UTILITY.

CITY OF MESA NOTES

- ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS FURNISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- SEPARATE RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ALL PUBLIC UTILITIES, STREET IMPROVEMENTS, AND RIGHT-OF-WAY LANDSCAPING. FOR INFORMATION REGARDING AVAILABILITY AND COST OF RIGHT-OF-WAY PERMITS, CONTACT DEVELOPMENT SERVICES AT (480) 644-2231. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED UNLESS OTHERWISE NOTED. PERMITS BECOME INVALID AND MUST BE UPDATED IF WORK HAS NOT BEGUN WITHIN SIXTY DAYS. PERMITS ALSO BECOME INVALID IF THE CONTRACTOR'S INSURANCE LAPSES OR IS VOIDED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION - CONSTRUCTION SERVICES SECTION 24-HOURS IN ADVANCE OF ANY CONSTRUCTION FOR INSPECTIONS AT (480) 644-2354 FOR MARKING OF ALL THEIR UNDERGROUND FACILITIES.
- THE ENGINEER SHALL CERTIFY (STAMPED WITH PROFESSIONAL SEAL, SIGNED BY THE ENGINEER) THAT ALL INTERESTED UTILITY COMPANIES HAVE BEEN CONTACTED AND ALL EXISTING AND / OR PROPOSED UTILITY LINES AND RELATED INFORMATION HAVE BEEN TRANSFERRED ONTO THESE PLANS. THE ENGINEER ALSO CERTIFIES THAT EXISTING AND PROPOSED RIGHTS-OF-WAY OR EASEMENTS HAVE BEEN CORRECTLY PLOTTED.
- THE ENGINEER SHALL CERTIFY THAT ALL IMPROVEMENTS (WATER AND SEWER UTILITIES, STORM SEWER, CONCRETE, PAVING, STREET LIGHTS, ETC.) HAVE BEEN INSTALLED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE APPROVED PLANS. ANY CHANGES SHALL BE REFLECTED ON AS-BUILT DRAWINGS PROVIDED BY THE ENGINEER TO THE ENGINEERING DIVISION - CONSTRUCTION SERVICES SECTION.
- THE ENGINEER SHALL CERTIFY THAT THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION BETWEEN UTILITIES HAS BEEN MAINTAINED AS REQUIRED BY LAW OR POLICY.
- ALL FRAMES, COVERS, VALVE BOXES, MANHOLES, ETC., SHALL BE INSTALLED TO FINISH GRADE OR SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO PLACING OF ASPHALTIC SURFACE COURSE BY THE CONTRACTOR PER M.A.G. STANDARD DETAIL 270 AND 422.
- THE CONTRACTOR SHALL ADJUST ALL FRAMES, COVERS, VALVE BOXES, MANHOLES, ETC., THAT ARE LOCATED WITHIN THE PARKWAY AREA AFTER FINAL GRADING AND INSTALLATION OF LANDSCAPING.
- ALL PUBLIC WATER MAIN MATERIALS SHALL BE PER SECTION 610.3 OF THE M.A.G. UNIFORM STANDARD SPECIFICATIONS. ALL DUCTILE IRON PIPE (DIP) WATERMANS SHALL HAVE POLYETHYLENE CORROSION PROTECTION PER SECTION 610.5 OF THE M.A.G. UNIFORM STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL INSTALL A TEMPORARY PLUG OR VALVE ON A SECTION OF NEW WATER LINE TO TEST LINES BEFORE CONNECTING TO THE EXISTING WATER SYSTEM WHERE THERE IS NO WATER VALVE ON THE EXISTING LINE.
- WATER LINE TESTS SHALL BE CONDUCTED SO THAT EXISTING WATER LINES WILL NOT BE INCLUDED IN THE TEST OF THE NEW LINE.
- ANY REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE A MANUFACTURER AND MODEL DESIGNATED IN THE CURRENT LIST OF 'APPROVED BACKFLOW PREVENTION ASSEMBLIES' AS PUBLISHED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH, UNIVERSITY OF SOUTHERN CALIFORNIA.
- THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED INSPECTORS PRIOR TO THE REQUEST OF FINAL INSPECTION.
- ALL CONSTRUCTION WITHIN MARICOPA COUNTY RIGHT OF WAY SHALL CONFORM TO MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION STANDARD PROVISIONS FOR CONSTRUCTION OF STREET IMPROVEMENTS.
- BACKFILL AND COMPACTION WITHIN MARICOPA COUNTY RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE LATEST MARICOPA COUNTY SPECIAL PROVISIONS FOR THE INSTALLATION OF UNDERGROUND UTILITIES.
- IN ACCORDANCE WITH A.A.C. R18-4-119, ALL MATERIALS ADDED AFTER JANUARY 1983, WHICH MAY COME IN CONTACT WITH DRINKING WATER, SHALL CONFORM TO NATIONAL SANITATION FOUNDATION STANDARDS (NSF) AND GSI.
- PER CITY ORDINANCE NO. 2341, ALL WATER METERS ARE TO BE PURCHASED FROM THE CITY OF MESA. METERS TWO INCHES OR LESS WILL BE DELIVERED AND INSTALLED BY CITY FORCES. METERS THREE INCHES OR LARGER WILL BE DELIVERED BY THE CITY AND INSTALLED BY THE CONTRACTOR AND REQUIRE SCHEDULING AND INSPECTIONS WITH CITY FORCES (CONTACT PUBLIC WORKS SERVICES (480) 644-2231 FOR THE SPECIFIC PROCEDURE).

M.C.D.O.T. GENERAL NOTES

- All construction shall conform to the latest Maricopa County Department of Transportation (MCDOT) Roadway Design Manual and M.A.G. Specifications and Maricopa County Special Provisions for Construction of Street Improvements.
- Contractor to obtain necessary MCDOT permits prior to construction within County right-of-way.
- The engineering design on these plans are only approved by Maricopa County Department of Transportation in scope and not in detail. Construction quantities on these plans are not verified by Maricopa County Department of Transportation. Approval of these plans are for permit purposes only and shall not prevent Maricopa County Department of Transportation from requiring correction of errors in the plans where such errors are subsequently found to be in violation of any law, ordinance, health, safety, or other design issues.
- Contractor shall notify the MCDOT Inspection Department at least 24 hours in advance of any construction at (602) 5068606.
- An approved set of plans shall be on the site during construction and inspections.
- Contractor performing construction or excavating operations is responsible for locating, relocating and/or protecting all utilities in conflict or within the clear zone, at no expense to Maricopa County.
- All compaction and backfill within County right-of-way shall conform to the Special Provisions for Construction of Street Improvements and Installation of Underground Utilities. Backfill under any existing or proposed pavement, curb, gutter or within two feet (2') or less from the edge of pavement shall consist of Aggregate Base Course (ABC) material.
- All structures, such as manholes, valve box & covers, and monitoring wells must be marked with at least two reflective yellow flex post when Structures are located outside the traveled way and within the right-of-way. ("Applies only when there is no curb.")
- All existing pavement marking, traffic signs and signal equipment that needs to be removed, replaced, relocated or repaired because of contractor's work will be done by the contractor at his expense. All traffic signs that are removed shall be stockpiled on the project site and the contractor is to notify the inspector when all signs have been removed. All new street name signs shall be provided and installed by permittee at no expense to Maricopa County.
- Pavement marking, signing and signal work will be inspected and will have to meet County Standards before release of bond.
- Asphalt mix design shall be submitted to MCDOT a minimum of 48 hours prior to placing any asphalt courses. (Trench work excluded.)
- Prior to conducting excavation operations, the Contractor shall obtain from the Arizona State Historical Preservation Officer (SHPO) (602) 542-4009, recommendations regarding the need for cultural resources (archaeological) clearance. All discoveries of human remains, cultural artifacts, or paleontological remains shall be reported to the Arizona State Museum and MCDOT. Upon discovery, Contractor shall cease operations in the vicinity of the find and protect the discovery area from further disturbance until the find can be professionally investigated by the Arizona State Museum and MCDOT.
- Prior to moving or destroying protected native plant species, the Contractor shall file a formal Notice of Intent with the Arizona Department of Agriculture Native Plants (602) 542-3292.
- Except under emergency conditions, roads shall not be closed for construction activity unless prior approval is obtained from the Transportation Director or his representative.
- All box culverts constructed in the public right-of-way shall comply with Arizona Department of Transportation (ADOT) latest design specifications and standards. Minimum clear height of box culvert shall be 4 feet.
- Prior to installation of the base course and wearing surface, submit soil test(s) of sub-grade and revised pavement design/calculations to the Maricopa County Department of Transportation for review and approval.

ARCHITECT:

DONALD H. CRAMER, AIA, ARCHITECT LTD.
707 WEST MISSOURI AVENUE, SUITE E
PHOENIX, ARIZONA 85013
PHONE: 602-277-1654

OWNER:

JM & LUISANA (DSARDI)
1333 NORTH CLIFFSIDE DRIVE
GILBERT, ARIZONA 85213
PHONE: 602-670-4655
FAX: 480-325-0198

APPROVALS:

MC FCD

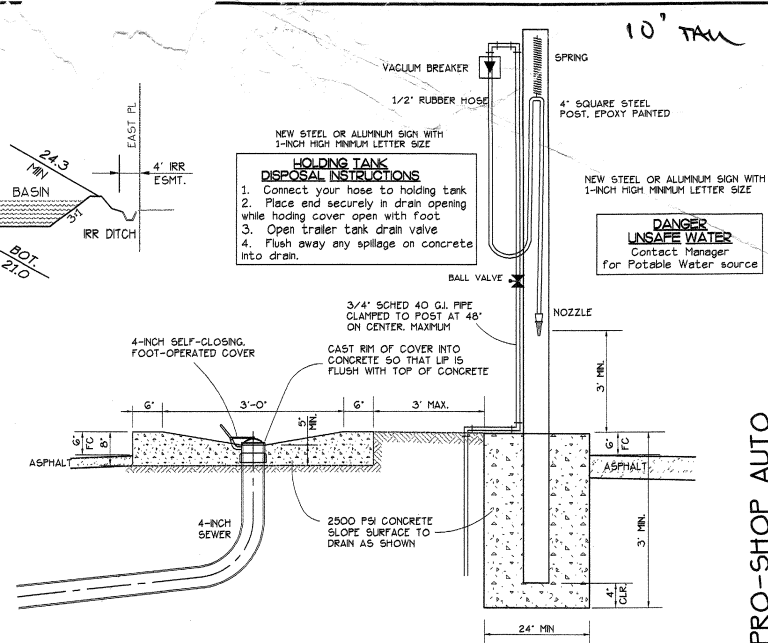
MC DOT

City of Mesa

NOTIFY INSPECTOR PRIOR TO START OF WORK

OWNER COPY

TC20040744



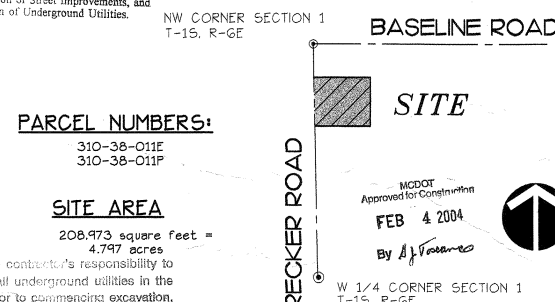
FLOOD PLAIN CERTIFICATION

This is to certify that the above subject property lies within ZONE 'X' as designated on the FIRM FLOOD INSURANCE RATE MAP, Map Number 04013C 2215 F, dated December 3, 1993. ZONE 'X' is designated as being outside of the 500 year Flood Boundary and therefore, would not be subject to flooding as determined by the Federal Emergency Management Agency under that circumstance.

RETENTION CALCULATIONS:

VOLUME REQUIRED = $C \left(\frac{P}{12} \right) A$				
TYPE	AREA	C	A x C	
BUILDINGS	66,255 SF	.95	62,942	
PAVEMENT	11,338 SF	.95	10,771	
GRAVEL	22,049 SF	.75	16,537	$C_v = 154,650$
LANDSCAPING	44,331 SF	.15	6,650	
	208,973 SF		154,650	$C_v = 0.74$
RAINFALL (P) = 2.6 IN				
VOLUME REQUIRED = $C \left(\frac{P}{12} \right) A$				
= .74 $\left(\frac{2.6}{12} \right) 208,973 = 33,505 \text{ CUBIC FEET}$				
VOLUME PROVIDED:				
Basin	A _{bot}	A _{top}	Depth	Volume
East end	5193 SF	8891 SF	2.6 FT	17,529 CU FT
NE Corner	370 SF	1258 SF	3.0 FT	2,442 CU FT
Between drives	1666 SF	4640 SF	3.0 FT	9,762 CU FT
Gravel areas	22,050 SF	22,050 SF	0.15 FT	6,157 CU FT
				33,890 CU FT

All construction shall conform to the latest Maricopa County Department of Transportation (MCDOT) Roadway Design Manual and M.A.G. Specifications and Maricopa County Special Provisions for Construction of Street Improvements and Installation of Underground Utilities.



SHEET INDEX

- COVER SHEET
- GRADING & DRAINAGE

FINAL GRADING & PAVING PLAN COVER SHEET

Focus Engineering, Inc.
Civil Engineering & Land Surveying
3339 West State Avenue
Phoenix, Arizona 85051
Phone: (602) 973-0336
Fax: (602) 532-7066

RECKER ROAD SELF STORAGE + PRO-SHOP AUTO
2049 SOUTH RECKER ROAD
MESA, ARIZONA 85215

Date: H9-04 Job: CRM-09 Sheet of 2

FINAL GRADING & PAVING WITH UTILITY SERVICES
Z 2003038 & Z 2003039 2049 SOUTH RECKER ROAD SELF STORAGE + PRO-SHOP AUTO

BLUE STAKE

CALL TWO WORKING DAYS
BEFORE YOU DIG
(602) 263-1100
INSIDE MARICOPA COUNTY

BASELINE ROAD

N 1/4 CORNER SECTION 1
T-15, R-6E
FOUND BRASS CAP
FLUSH WITH PAVEMENT

LEGEND

EXISTING 8" CHAIN LINK FENCE
OR AS NOTED
WATER VALVE
TELEPHONE PEDESTAL
GUY
POWER POLE
SIGN
5' HIGH CMU WALL
SANTARY SEWER MANHOLE
ELECTRIC BOX FLUSH
WATER METER
TREE

ROOF SLOPE
FIRE HYDRANT
SLOPE OF FINISHED SURFACE
STORMWATER INLET
PIPE
PARKING LOT LIGHT
CURBED MEDIAN ISLAND
WATER METER BOX
BACKFLOW VALVE
ACCESSIBLE PARKING STALLS

WATER CONSTRUCTION NOTES

- INSTALL NEW 6" FIRE LINE CONNECTION TO EXIST. 6" PUBLIC MAIN PER MESA STANDARD DETAIL M-31.7. SAWCUT, REMOVE + REPLACE 3' BY AC STREET PAVING IN-YARD IN ACCORDANCE WITH CITY OF MESA DETAIL M-19.4.
- INSTALL D.I.P. C.I.P. OR A.C.P. PER M.A.G. AND CITY OF MESA SPECIFICATIONS. INSTALL FACTORY FITTINGS AT REQUIRED LOCATIONS WITH THRUST BLOCKS PER M.A.G. DETAIL 380. INSTALL PIPE PER M.A.G. SPECIFICATION G10, WITH 36" COVER FROM FINISHED SURFACE. MAINTAIN 12" CLEARANCE FROM ALL OTHER UTILITIES. SEE PLAN FOR PIPE SIZE.
- INSTALL GATE VALVE WITH BOX + COVER PER M.A.G. DETAIL 391-1-C.
- INSTALL DOUBLE CHECK DETECTOR CHECK BACKFLOW PREVENTION ASSEMBLY PER CITY OF MESA DETAIL M-31.2. RETROFITTED WITH A CITY OF MESA 3/4" BY-PASS METER (SEE M.A.G. DETAIL 346). PROVIDE SAFETY POSTS (4 REQUIRED) PER CITY OF MESA DETAIL M-32. INSTALL 8" x 6" PIPE REDUCER AND CONNECT TO FIRE LINE.
- INSTALL 8" x 6" TEE AND COMPLETE FIRE HYDRANT ASSEMBLY PER M.A.G. DETAIL 360 COMPLETE WITH VALVE BOX + COVER PER M.A.G. DETAIL 391-1-G. USE FIRE HYDRANT MEETING CITY OF MESA SPECIFICATIONS. SET VALVE WITHIN 10 FEET OF FIRE HYDRANT.
- INSTALL MANHOLE WATER SERVICE SERVICE PER CITY OF MESA DETAIL M-49.3 (PERPENDICULAR) WITH METER BOXES PER CITY OF MESA DETAIL M-49.1 THROUGH M-49.4. INSTALL BACKFLOW ASSEMBLY FOR 1" DOMESTIC SERVICE AND FOR 1" LANDSCAPE IRRIGATION PER CITY OF MESA DETAIL M-31.3. EXTEND DOMESTIC SERVICE USING 1-1/2" PIPE TO BUILDING AS SHOWN HEREON AND ON PLUMBING PLAN. PIPE FITTINGS AND INSTALLATION SHALL COMPLY WITH ALL CURRENT CITY PLUMBING CODES. PROVIDE A MINIMUM OF 24" COVER OVER PIPE. SET METER BOXES TO FINISHED GRADE. SEE LANDSCAPE IRRIGATION PLANS FOR CONTINUATION OF IRRIGATION SYSTEM.

SEWER CONSTRUCTION NOTES

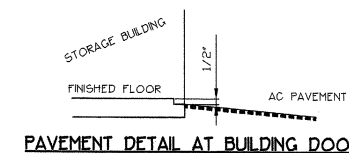
- MAKE PROPER APPLICATION, PAY PREVAILING FEES AND SCHEDULE INSTALLATION OF NEW 6" SANTARY SEWER TAP ON EXISTING MAIN - BY CITY OF MESA FORCES - IN ACCORDANCE WITH M.A.G. DETAIL 440 AND CITY OF MESA DETAIL M-24. CONNECT TO TAP WITH NEW SEWER CLEANOUT AT RIGHT OF WAY LINE PER M.A.G. DETAIL 441. EXTEND NEW 6" PVC SEWER PIPE AT A MINIMUM SLOPE OF 2.0% (1/4-INCH PER FOOT) AND CONNECT TO BUILDING PLUMBING. (SEE PLAN FOR INVERT ELEVATIONS). PVC PIPE MUST MEET ASTM D-3034, SDR-35, BED AND BACKFILL 12" OVER TOP OF PIPE WITH 3/4-INCH MINUS GRANULAR MATERIAL.
- INSTALL SEWER CLEANOUTS PER M.A.G. DETAIL 441 AT POINTS OF CONNECTION, ANGLE POINTS, AND INTERVALS WHICH DO NOT EXCEED 100 FEET. SEE PLUMBING PLANS FOR BUILDING CONNECTION, ELEVATION AND LOCATION.
- CONSTRUCT SEWAGE DUMP STATION, COMPLETE PER DETAIL, AND CONNECT TO NEW SEWER.

GRADING + PAVING NOTES

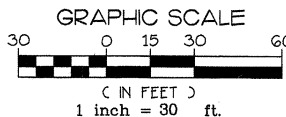
- CONSTRUCT NEW BUILDING PAD TO PROVIDE FINISHED FLOOR AT ELEVATION SHOWN. NOTE STEP-DOWN LOCATIONS AND ELEVATIONS ON PLAN. SEE SLOPE REPORT FOR SPECIFICATIONS. SEE ARCHITECTURAL PLANS FOR SITE AND BUILDING LAYOUT DIMENSIONS.
- INSTALL ASPHALTIC CONCRETE PAVEMENT. ADJUST ALL UTILITY FRAMES AND COVERS TO FINISHED GRADE PRIOR TO PAVING. INSTALL AC PAVEMENT SECTION OVER COMPACTED SUBGRADE. SEE PAVEMENT + CURB DETAIL ON THIS SHEET. SEE DETAIL ON THIS SHEET FOR TYPICAL PAVEMENT SURFACE ELEVATION AT BUILDINGS. CONSTRUCT THICKENED PAVEMENT EDGE PER M.A.G. DETAIL 301, TYPE "B". WHERE PAVEMENT EDGE IS ADJACENT TO NATIVE SOIL, LANDSCAPED AREAS, OR MATCH LINES WITH PC PAVEMENT, APPLY TACK COAT AT ALL MATCH LINES WITH AC AND PC PAVEMENT OR CONCRETE SLABS. THICKNESSES GIVEN ARE MINIMUM THICKNESSES FOR ALL LOCATIONS. M.A.G. SPECIFICATION 321 IS HEREBY MODIFIED FOR THIS PROJECT TO THE EFFECT THAT THICKNESSES LESS THAN SPECIFIED, OR FOR FINISHED SURFACES WHICH DO NOT MEET THE 25' STRAIGHT EDGE TEST, AT ANY LOCATION, SHALL BE SUFFICIENT REASON FOR REJECTION OF, AND NON-PAYMENT FOR THE WORK.
- CONSTRUCT EXTRUDED CONCRETE CURB. SEE DETAIL ON THIS SHEET.
- INSTALL DUST-PROOF MATERIAL GRADED AS SHOWN ON PLAN AND IN ACCORDANCE WITH DETAIL ON THIS SHEET.
- CONSTRUCT NEW CONCRETE VALLEY GUTTER PER M.A.G. DETAIL 240.
- CONSTRUCT DRAINAGE OPENING IN CURB PER DETAIL ON THIS SHEET. USE 36-INCH WIDE x 15-INCH DEEP BAND OF 8-INCH R/R RAP BEHIND CURB FROM BACK OF CURB TO BOTTOM OF SLOPE.
- CONSTRUCT CONCRETE SIDEWALK. SIDEWALK MAY HAVE AN INTEGRAL TURN-DOWN AND 6-INCH EXPOSED CURB FACE ALONG PARKING AND DRIVE AREAS PER DETAIL ON SHEET C-1. SEE ARCHITECTURAL SPECIFICATIONS FOR FINISH, SCORING PATTERN AND DIMENSIONS.
- INSTALL 4-INCH DRAIN FROM OFF-SITE DISCHARGE BASIN TO DRYWELL. SEE SECTION VIEW ON THIS SHEET.
- INSTALL CONCRETE ACCESS RAMP WITH SIDE CURB SCORING + SLOPE TO MEET A.D.A. STANDARDS. SEE DETAILS ON ARCHITECTURAL PLANS.
- CONSTRUCT STORMWATER RETENTION BASIN. SEE CROSS SECTIONS FOR DETAILS. ROUGH GRADE SO THAT UPON COMPLETION OF LANDSCAPING AND LAND CONSTRUCTION, THE PLAN CROSS SECTIONS, ELEVATIONS AND DESIGN VOLUMES WILL BE MET.
- CONSTRUCT NEW DRAINAGE SWALE WITH 4:1 SIDE SLOPES. SEE PLAN FOR FLOW LINE ELEVATIONS, UNIFORMITY SLOPE BETWEEN ELEVATIONS SHOWN.
- CONSTRUCT MOUND OR BERM. SEE CROSS SECTIONS FOR SIDE SLOPES.
- INSTALL NEW PVC STORM DRAIN PIPE MEETING ASTM D-3034, SDR-35. SEE PLAN FOR PIPE SIZE. TERMINATE AT FLOW LINE ELEVATIONS SHOWN. STRAIGHT GRADE BETWEEN FLOW LINE ELEVATIONS SHOWN.
- INSTALL DRYWELL + CONNECT TO NEW STORM DRAIN. SEE DETAIL ON SHEET 1.
- INSTALL TYPE "T" STORMWATER INLET PER M.A.G. DETAIL 535.
- CONSTRUCT BUBBLER BOX. SEE DETAIL ON THIS SHEET. CONNECT TO STORM DRAIN PIPES AT ELEVATIONS SHOWN ON PLAN.
- CONSTRUCT TRASH ENCLOSURE AND SLAB PER ARCHITECTURAL DETAILS.
- INSTALL CONDUIT, PIPE AND WIRING FOR SITE LIGHTING, LANDSCAPE IRRIGATION AND SECURITY CONTROLS PRIOR TO PAVING. SEE ASSOCIATED PLANS FOR SIZES AND LOCATIONS.
- PROVIDE TRAFFIC + PARKING CONTROL PER ARCHITECTURAL PLANS, INCLUDING PAVEMENT STRIPING, SYMBOLS, SIGNS AND POSTS.
- INSTALL SITE WALL OR FENCING. SEE ARCHITECTURAL PLANS.
- BACKFILL TRENCH AROUND PIPE (6-INCHES MINIMUM THICKNESS) WHERE PIPE IS BENEATH BUILDINGS OR WITHIN 3 FEET OF BUILDING, WITH 1 SACK CONCRETE SLURRY MIX.

DRIVEWAY CONSTRUCTION NOTES

- SAWCUT EXISTING PAVEMENT TO NEAR EDGE, TACK COAT AND CONSTRUCT NEW PAVED TURNOUT PER M.A.G. DETAIL 225, TYPE "A": (CW= 40", R= 30", L= 45") USE 3" G-3/4" AC PAVEMENT OVER 8" ABC OVER 12" COMPACTED SUBGRADE.



PAVEMENT DETAIL AT BUILDING DOOR



REFERENCE BENCH MARK:

Brass cap in handhole at the intersection of Baseline and Recker Roads (North).
ELEVATION = 1327.32 City of Mesa datum

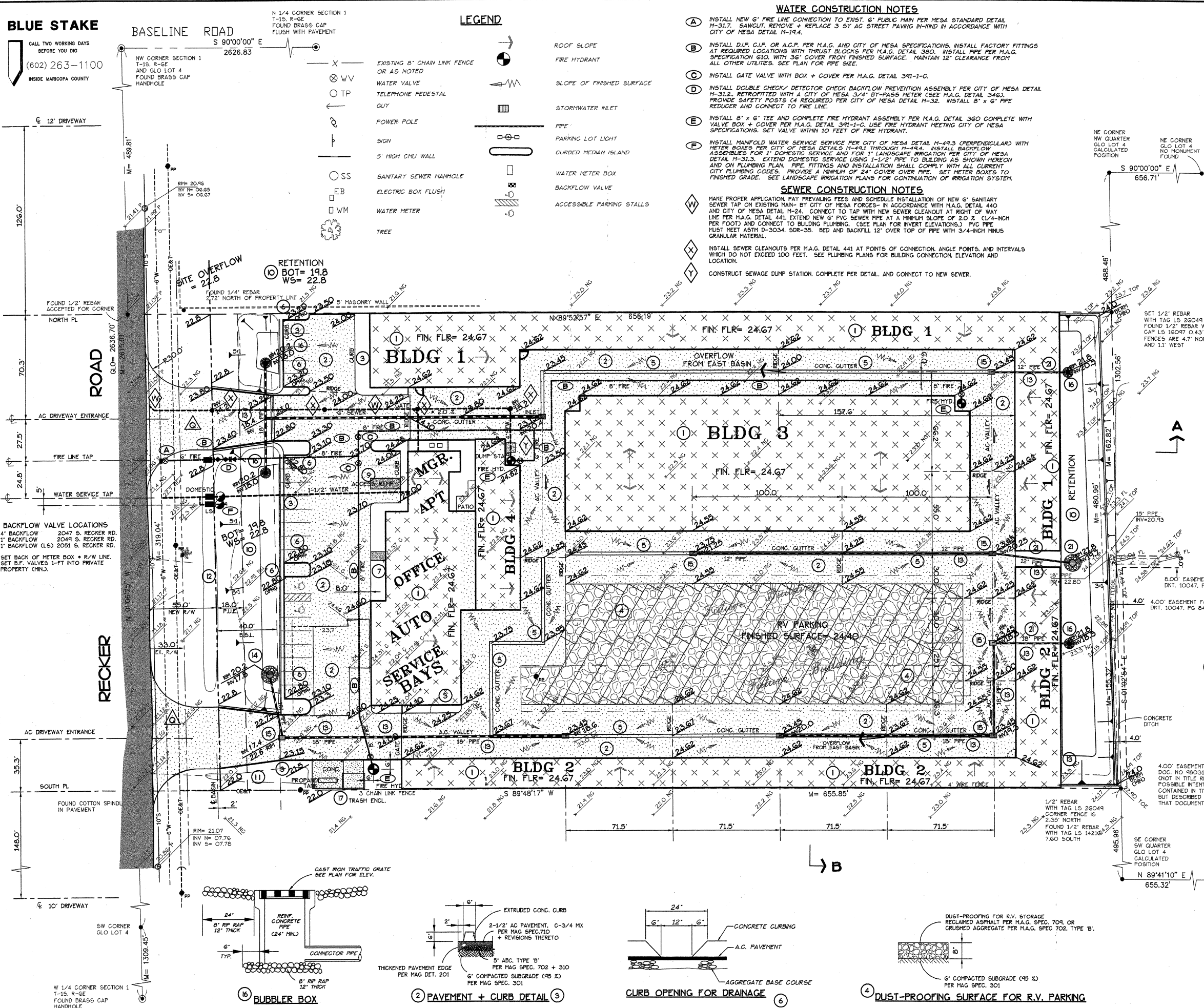
SITE BENCH MARK:

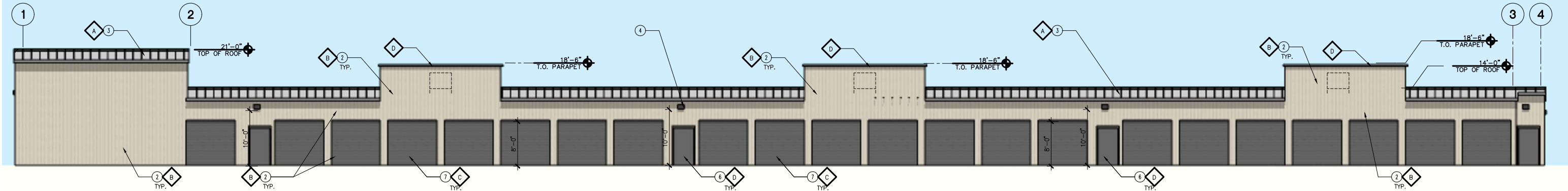
Brass cap in handhole at the intersection of Baseline and Recker Roads (South). Approximately 450.00 feet North of site.
ELEVATION = 31322.10 City of Mesa datum

GRADING, PAVING & UTILITY SERVICES PLAN

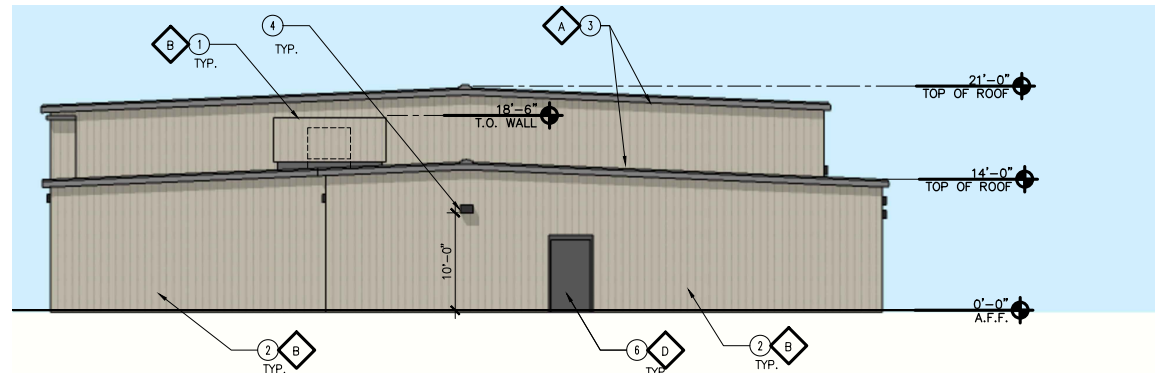
Focus Engineering, Inc.
Civil Engineering & Land Surveying
3339 West State Avenue
Phoenix, Arizona 85051
Phone: (602) 973-0336
Fax: (602) 532-7066

RECKER ROAD SELF STORAGE + PRO-SHOP AUTO
2049 SOUTH RECKER ROAD
MESA, ARIZONA 85215
Date: H9-04 Job: CRM-09 Sheet of 2

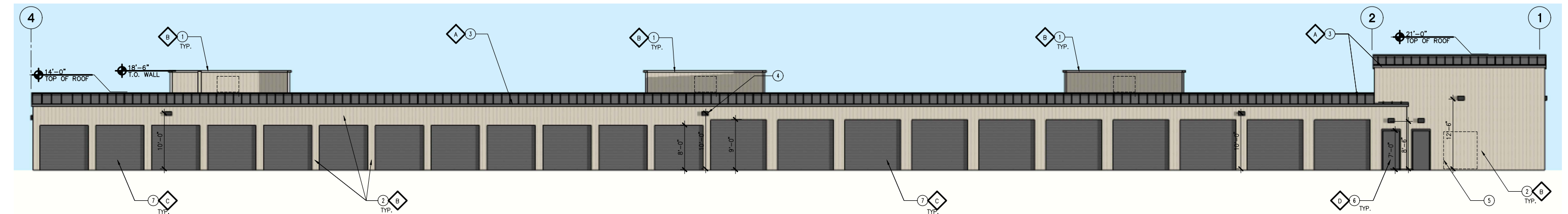




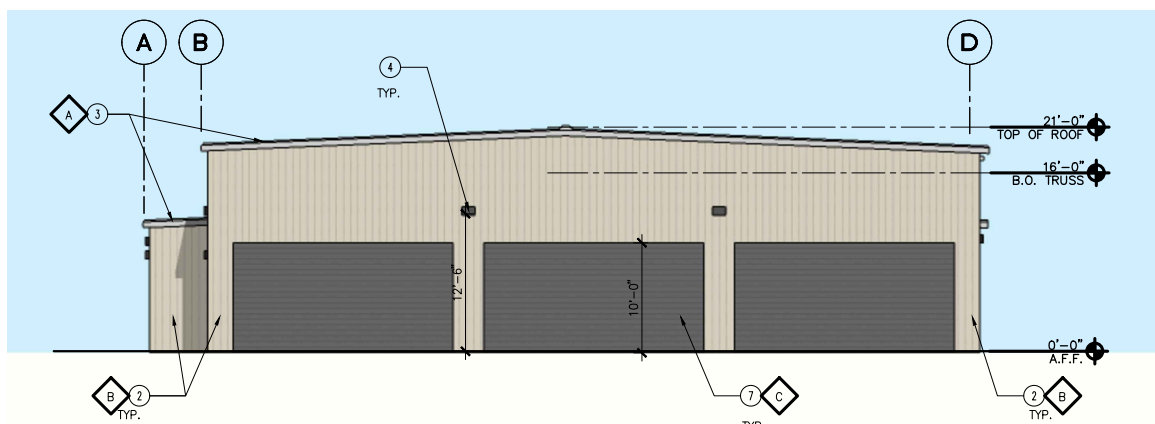
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

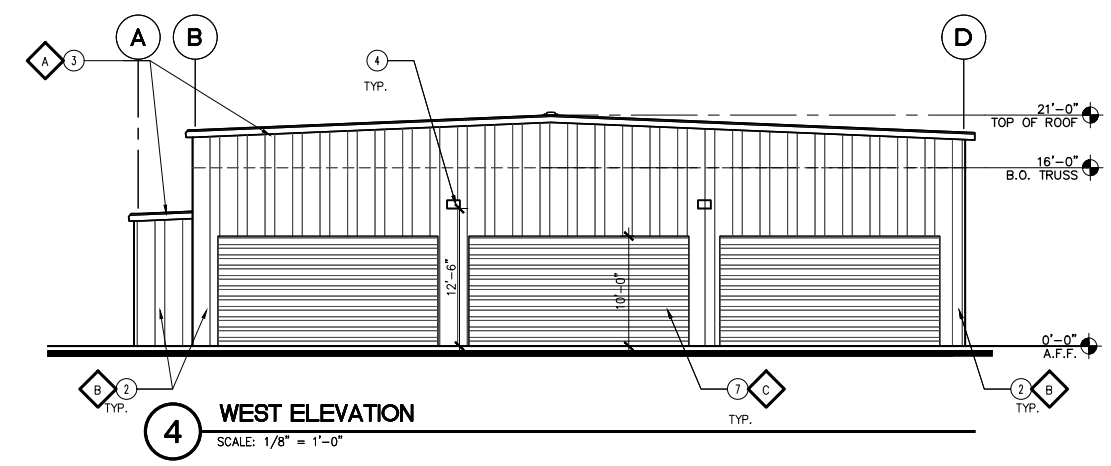
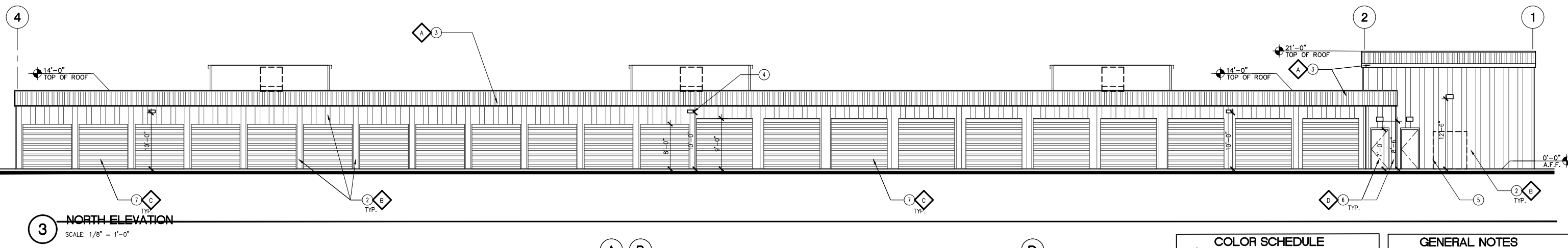
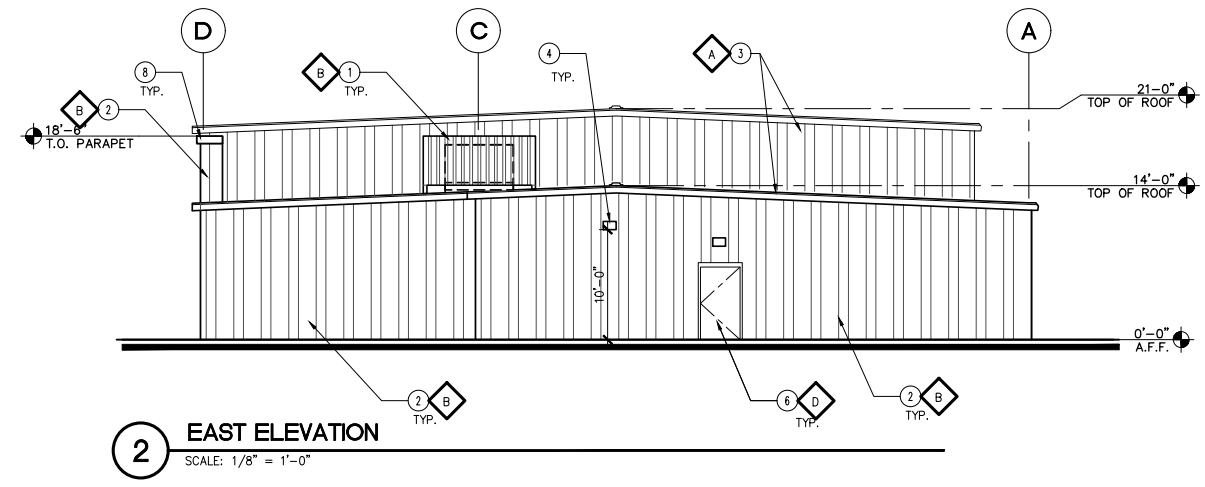
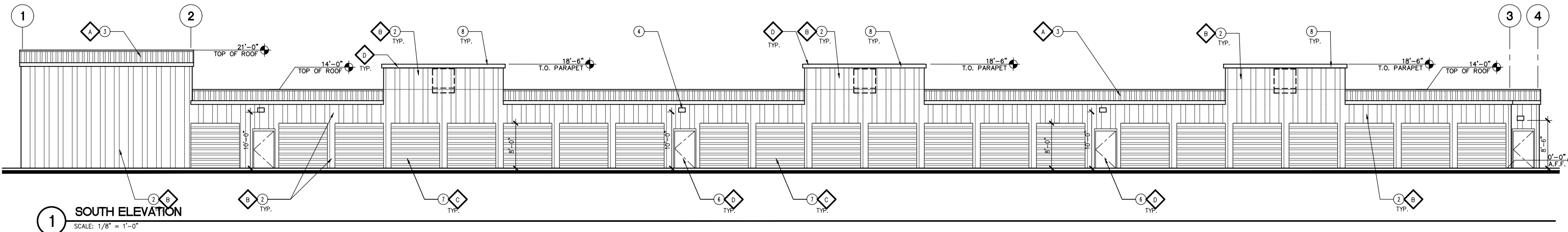


4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

COLOR SCHEDULE	
A	STANDING SEAM METAL ROOF TO MATCH EXISTING M.B.C.I. - BURNISHED SLATE
B	METAL SIDING TO MATCH EXISTING M.B.C.I. - SADDLE TAN
C	METAL ROLL-UP DOORS TO MATCH EXISTING U.S. DOORS - DUO BRONZE 08
D	FLAT METAL PANELS TO MATCH EXISTING M.B.C.I. - SILVER METALLIC
KEY NOTES	
1. WALL TO SCREEN AC UNIT, METAL SIDING TO MATCH BUILDING SEE GENERAL NOTES # 2 ROOF PLAN AND SECTION.	
2. INSULATED METAL PANEL, TYP.	
3. STANDING SEAM METAL ROOF	
4. LIGHT, SEE PHOTOMETRIC AND GENERAL NOTES#4.	
5. S.E.S FULLY SCREEN FROM STREET VIEW	
6. HOLLOW METAL DOOR	
7. ROLL UP DOOR	

GENERAL NOTES	
1. BUILDING DRAINAGE TO BE INTERNALIZED. NO EXTERNAL DOWNSPOUTS.	
2. ALL ROOF MOUNTED MECHANICAL EQUIPMENT MUST BE FULLY SCREENED WITH INTEGRATED BUILDING ELEMENTS. SCREENED WALLS GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.	
3. NO EXPOSED ROOF LADDERS FOR ROOF ACCESS ARE PERMITTED	
4. MAXIMUM LIGHT HEIGHT 14 FEET FROM THE BOTTOM OF THE LIGHT SOURCE	
5. ALL GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.	

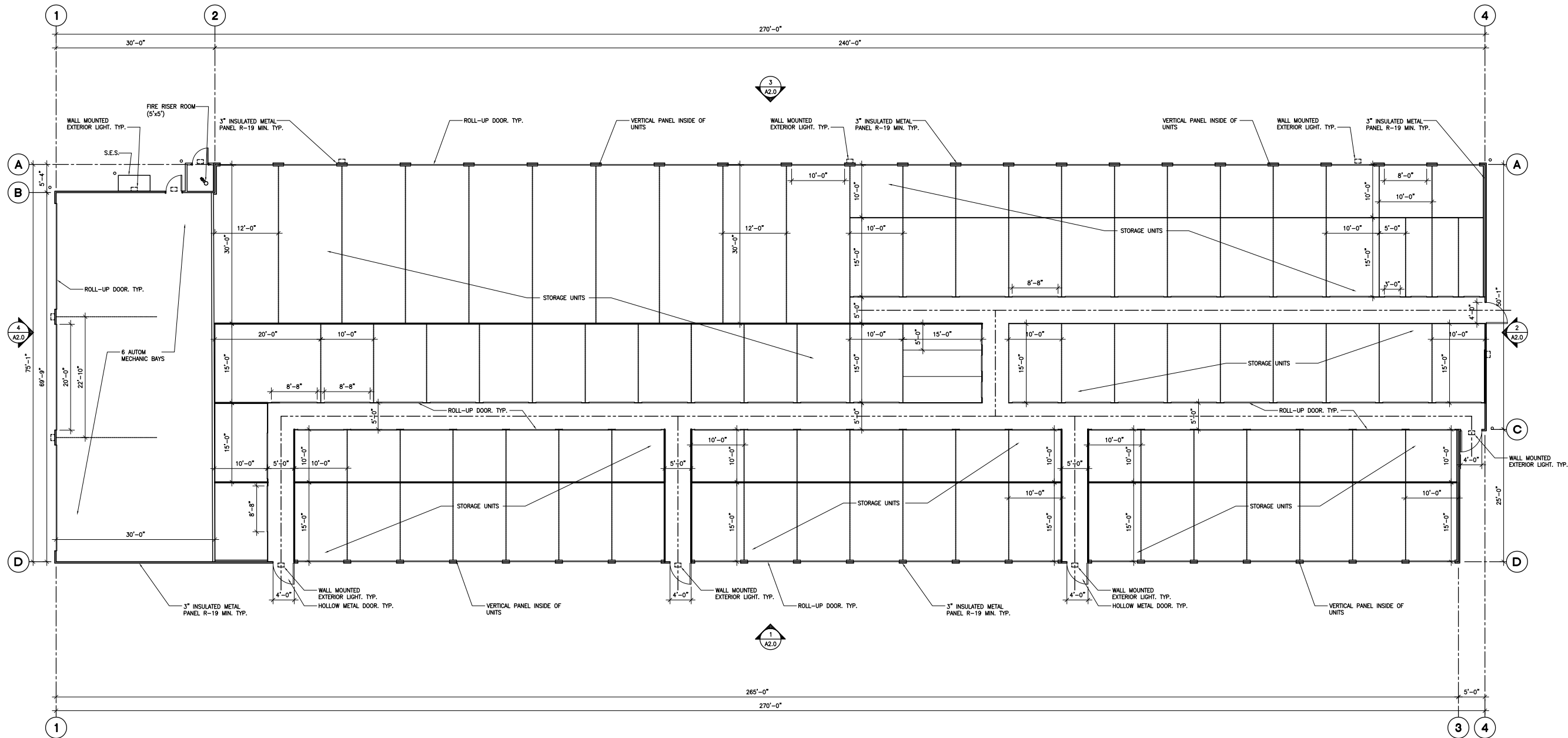
DR18-165 Recker Road Self Storage Addition
Attachment 5: Building Elevations
March 6, 2019



COLOR SCHEDULE	
A	STANDING SEAM METAL ROOF TO MATCH EXISTING M.B.C.I. - BURNISHED SLATE
B	METAL SIDING TO MATCH EXISTING M.B.C.I. - SADDLE TAN
C	METAL ROLL-UP DOORS TO MATCH EXISTING U.S. DOORS - DUO BRONZE 08
D	FLAT METAL PANELS TO MATCH EXISTING M.B.C.I. - SILVER METALLIC
KEY NOTES	
1.	WALL TO SCREEN AC UNIT, METAL SIDING TO MATCH BUILDING SEE GENERAL NOTES # 2 ROOF PLAN AND SECTION.
2.	INSULATED METAL PANEL, TYP.
3.	STANDING SEAM METAL ROOF
4.	LIGHT, SEE PHOTOMETRIC AND GENERAL NOTES#4.
5.	S.E.S FULLY SCREEN FROM STREET VIEW
6.	HOLLOW METAL DOOR
7.	ROLL UP DOOR

- GENERAL NOTES**
- BUILDING DRAINAGE TO BE INTERNALIZED. NO EXTERNAL DOWNSPOUTS.
 - ALL ROOF MOUNTED MECHANICAL EQUIPMENT MUST BE FULLY SCREENED WITH INTEGRATED BUILDING ELEMENTS. SCREENED WALLS GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 - NO EXPOSED ROOF LADDERS FOR ROOF ACCESS ARE PERMITTED
 - MAXIMUM LIGHT HEIGHT 14 FEET FROM THE BOTTOM OF THE LIGHT SOURCE
 - ALL GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.





1 CONCEPT FLOOR PLAN
SCALE: 3/32" = 1'-0"

No.	DATE	REVISIONS
1		
2		
3		

